



**Town of Davidson  
Design Review Board Regular Meeting  
Town Hall and Community Center  
Community Room 120  
251 South Street  
Wednesday, July 17, 2024 at 5:30 PM**

---

**I. CALL TO ORDER**

**II. SILENT ROLL CALL**

**III. CHANGES / ADOPTION OF THE AGENDA**

**IV. REVIEW/APPROVAL OF MINUTES**

**a. Meeting Minutes 06.26.2024**

**Summary:** Consider approval of the 06/26/2024 DRB meeting minutes.

**V. OLD BUSINESS**

**a. Swimming Hole Pool House**

**Summary:** Consider approval of final details for the Swimming Hole pool house at 630 Lorimer Rd.

**VI. NEW BUSINESS**

**a. Sadler Square Facade Changes**

**Summary:** Consider approval of proposed facade changes at Sadler Square, 201-267 Griffith Street.

**b. 201 South Street Addition**

**Summary:** Consider approval of changes to the existing office building at 201 South Street.

**VII. INFORMAL FYI REVIEW**

**VIII. ADJOURN**



**Design Review Board  
Meeting Minutes  
June 26, 2024**

A meeting of the Town of Davidson *Design Review Board* was held virtually via Zoom.

**I. CALL TO ORDER:** 5:31 p.m.

**II. ROLL CALL AND DETERMINATION OF QUORUM:**

Members Present signified by :

<input checked="" type="checkbox"/> Andrew Gale	<input checked="" type="checkbox"/> Craig Lewis (Chair)	<input checked="" type="checkbox"/> Brent Zande
<input type="checkbox"/> Tom Gibbs	<input checked="" type="checkbox"/> Dave Malushizky	<input checked="" type="checkbox"/> Nicole Perri
<input checked="" type="checkbox"/> Rachel Johnson (Vice Chair)	<input type="checkbox"/> Rusty Miller	<input checked="" type="checkbox"/> Sara Swanson

**Town Representatives:** Lindsay Laird

**III. CHANGES TO THE AGENDA:** N/A

**IV. REVIEW/APPROVAL OF THE MINUTES:**

**a. April 17, 2024, Minutes**

*Motion to recommend approval of minutes:*

- **Motion:** Dave Malushizky
- **Second:** Rachel Johnson
- **Vote:** 7-0 (Motion Passed)

**V. OLD BUSINESS:** N/A

**VI. NEW BUSINESS:** N/A

**VII. INFORMAL FYI REVIEWS:**

**a. Summit Farms Roastery Building**

Lindsay Laird gave an overview of the project, noting that the DRB previously provided informal feedback on this project at their June 21, 2023 meeting. The Summit Farms Roastery Building will be located at the corner of Shearer Rd/East Rocky River Rd. The building will house a retail café, commercial kitchen, offices, and coffee roasting operations.

DRB members provided informal nonbinding feedback on the updated design. No decisions were made.

**VIII. ADJOURNMENT:** The meeting adjourned at 6:32 pm.

***APPROVAL OF MEETING MINUTES:***

Date: \_\_\_\_\_ By: \_\_\_\_\_



## DESIGN REVIEW BOARD: STAFF REPORT

Date: July 17, 2024  
To: Design Review Board  
From: Lindsay Laird, Senior Planner  
Re: Swimming Hole – Approval of Final Details

### INTRODUCTION

#### APPLICANT INFO

- **Project:** Swimming Hole Pool House
- **Location:** 630 Lorimer Rd (Parcel ID 00702353)
- **Applicant:** Michael Montgomery (LaBella)
- **Designer:** LaBella Associates
- **Planning Area(s):** Village Infill

#### PROJECT DESCRIPTION

The Swimming Hole project includes a new pool house with accessible locker/restrooms and an open-air activities center. The existing 1960s CMU bath house will be demolished as part of this project.

At the October 18, 2023, regular meeting, the DRB preliminarily approved the design of the pool house subject to additional detailing being provided, including plan dimensions, roof detailing (materials/slope), gutters and downspouts (if applicable), etc. As part of the preliminary approval, the board required that updated plans be presented to the DRB for final approval.

Updated plans include dimensions, revised materials (see Exterior Elevations on sheet 10), roof detailing (see Roof Plan A3 on sheet 9), and gutters/downspouts (see Building Cross Section A5 on sheet 12).

### PLANNING STAFF REVIEW

Below is a summary of planning and development standards related to this proposal. Feedback requested/unresolved items are in *red italics*.

#### A. Village Infill Planning Area Standards

- **2.2.4.B Permitted Uses:** Compliant – Existing use
- **2.2.4.C Permitted Building Types:** Compliant – The pool house is considered an institutional use/building. Institutional uses are premises available for organizations dedicated to recreation and sports, and other similar areas of public assembly. Institutional buildings are permitted in the VIPA
- **Height:** Compliant - Civic/institutional buildings may be one-story with planning director approval, per DPO 4.4.1.A.
- **2.2.4.D Setbacks:** Compliant

**B. General Site Design Standards**

- **4.3.1.A Pedestrian & Vehicle Access:** Not applicable
- **4.3.1.B Building Location & Orientation:** Not applicable
- **4.3.1.C Building Height:** Compliant
- **4.3.1.D Fences, Hedges & Garden Walls:** Not applicable
- **4.3.1.E Loading/Service Areas, Mechanical Equipment and Utilities:** Not applicable – existing nonconforming site with parking located forward of the pool house
- **4.3.1.F Encroachments:** Not applicable
- **4.3.1.G Development Plans with Multiple Buildings:** Not applicable
- **4.3.1.H Public Spaces:** Not applicable
- **4.3.2 Redevelopment in Existing Buildings:** Not applicable

**C. General Building Design Standards**

- **4.4.1.A Building Height:** Compliant
- **4.4.1.B Form and Massing:** Compliant
- **4.4.1.C Façade Articulation:** Compliant – The base of the pool house building is emphasized with a stone water table. The top of the building is emphasized with a roof overhang.
- **4.4.1.D Façade Transparency:** Not applicable
- **4.4.1.E Materials:** Materials shall be selected for suitability to the type of building and design for which they are used. All facades visible from a public street/open space shall utilize high-quality finish materials including, but not limited to: (a) Brick, masonry, or stone; (b) Integrally tinted, textured masonry block; (c) Stucco; (d) Wood or cementitious siding; (e) Glass.  
*Review final material selections for elevations and roofing.*
- **4.4.1.F Architectural Details:** Compliant

**D. Specific Building Type Requirements – Institutional Building Type**

- **4.5.1.A Scale & Architecture:** Compliant – As proposed, the pool house design is compatible with surrounding residential properties
- **4.5.1.B Complexes with Multiple Buildings:** Compliant – Buildings are arranged around amenities (i.e., the pool)

**RESOURCES & ATTACHMENTS**

- Davidson Planning Ordinance (DPO): [www.townofdavidson.org/planningordinance](http://www.townofdavidson.org/planningordinance)



# Davidson Swimming Hole

Design Review Board Application  
July 17 , 2024

630 Lorimer Road,  
Davidson, NC 28036

Mid-Block between  
South Thompson Street & Pine Road

## PROJECT TEAM

President of Swimming Hole | Glenn Prillaman  
Civil, Architecture + Interior, Building Engineering | LaBella Associates

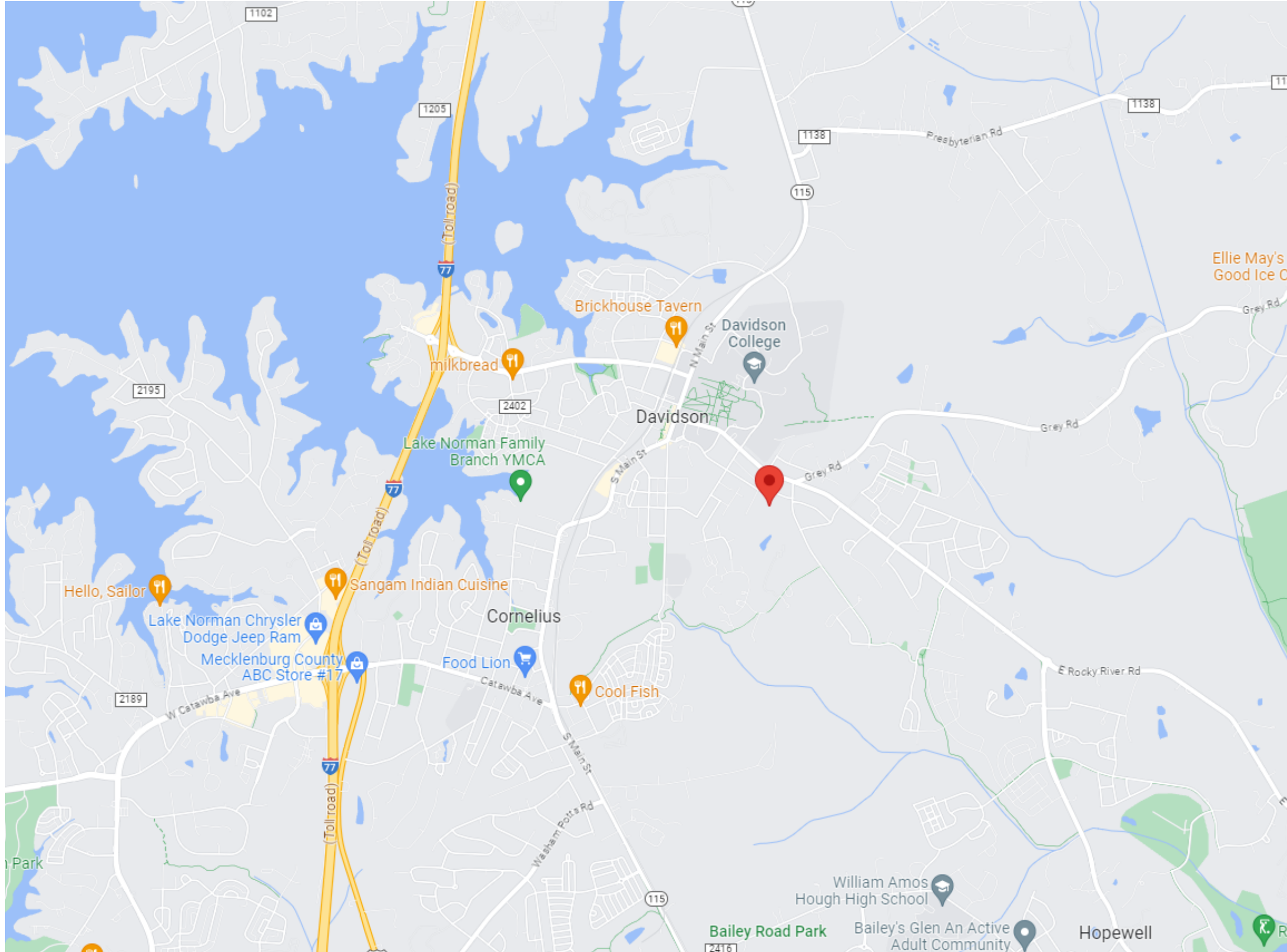




## **TABLE OF CONTENTS**

3	PROJECT LOCATION & CONTEXT
5	PROJECT NARRATIVE
6	ENVIROMENTAL INVENTORY
7	PROPOSED SITE PLAN
8	BUILDING INFORMATION
13	RENDERINGS

# PROJECT LOCATION | VICINITY MAP



## SITE CHARACTERISTICS

PLANNING AREA: VILLAGE INFILL  
 OVERLAY: YELLOW  
 USE: RECREATION: OUTDOOR

Identity	
Parcel ID	GIS ID
00702353	00702353

Property Characteristics	
Legal desc	N/A
Land Area	2.55 AC
Fire District	DAVIDSON
Special District	FIRE SERVICE C
Account Type	NC CORP
Municipality	DAVIDSON
Property Use	REC AREA

Zoning	
Contact appropriate Planning Department or see Map.	

Water Quality Buffer	
Parcel Inside Water Quality Buffer	Yes

FEMA and Community Floodplain	
FEMA Panel#	3710465300J
FEMA Panel Date	03/02/2009
FEMA Flood Zone	OUT:VIEW FEMA FLOODPLAIN TO VERIFY
Community Flood Zone	OUT:VIEW COMMUNITY FLOODPLAIN TO VERIFY

Situs Addresses Tied to Parcel	
630 LORIMER RD DAVIDSON	

Ownership	
Owner Name	Mailing Address
SWIMMINGHOLE INC	PO BOX 786 DAVIDSON NC 28036

Deed Reference(s) and Sale Price		
Deed	Sale Date	Sale Price
02326-449	01/01/1975	\$0.00

Site Location	
ETJ Area	Davidson
Charlotte Historic District	No
Charlotte 6/30/2011 Annexation Area	No
Census Tract #	64.03

Post Construction District	
Jurisdiction	Davidson
District	Yadkin

Stream Watershed Districts	
Stream Watershed Name	ROCKY RIVER

# ADJACENT CONTEXT



Site is surrounded by established residential neighborhood and mature trees.

Pictured below Existing Site following March 2023 clearing of overgrowth and preserving mature trees.



Design concept for new pool house structure is a residential scale with authentic materials, limited color palette, and clean trim details at base and openings.

Pictured above (clockwise): 220 Pine Road, 102 Hillside Drive, 521 Ridgewood Avenue, and 517 Lorimer Road



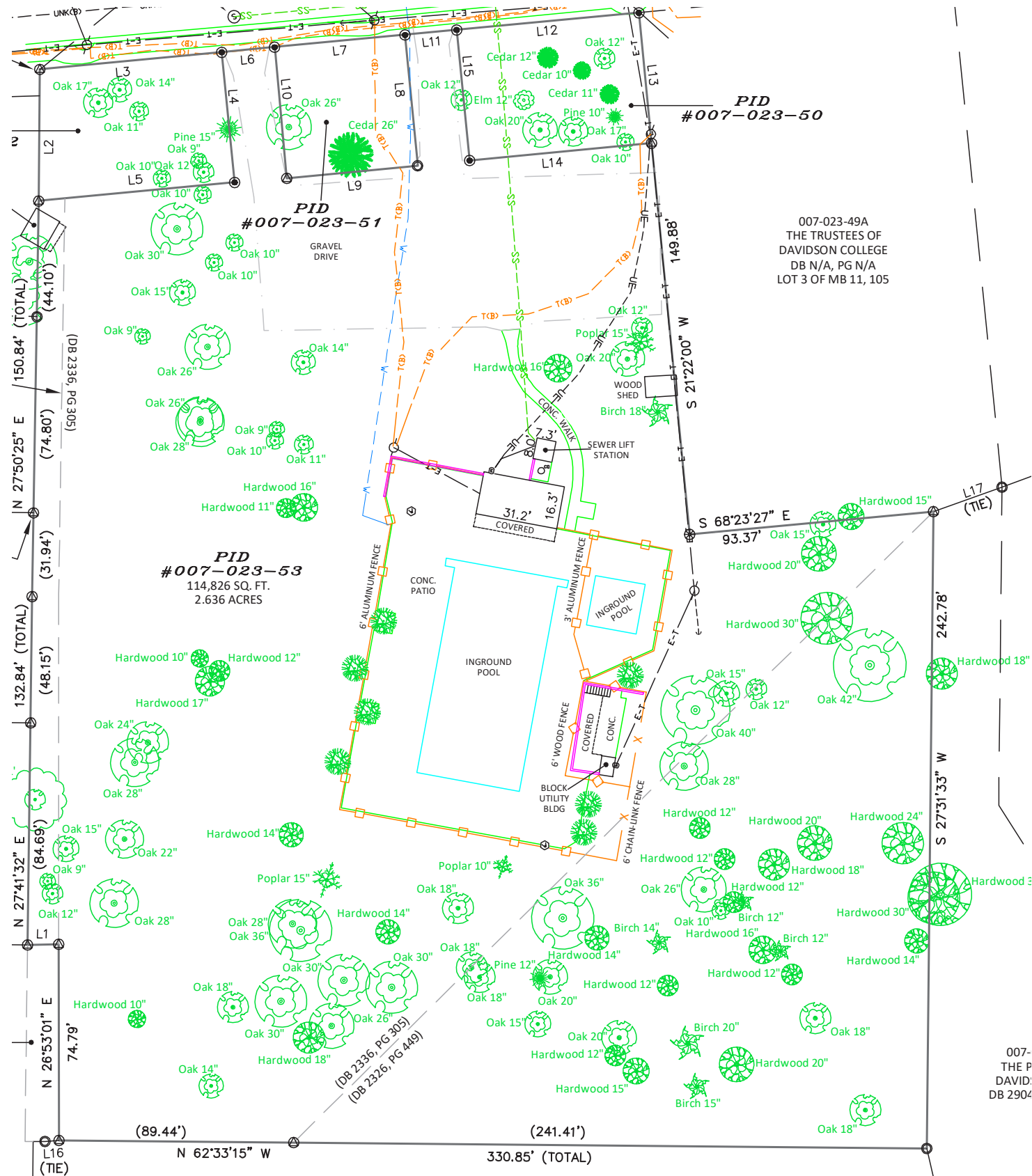
## PROJECT NARRATIVE

The Swimming Hole's "Reimagine Project" would modernize a Davidson family institution for our members' improved pool experience for decades to come with a simple, pragmatic approach to amenity & architecture through a new Pool House & open-air Activities Center, as well as a slightly expanded pool deck surface area and parking spaces. There would be no change to the pool itself.

In keeping with membership's culture served by the project's core beliefs of safety, family fun, simplicity, affordability, and doing the right thing when we have the opportunity to do so, we would like to explore the possibility of a member vote to approve a capital improvement plan with our Town's approval & encouragement.



# ENVIRONMENTAL INVENTORY

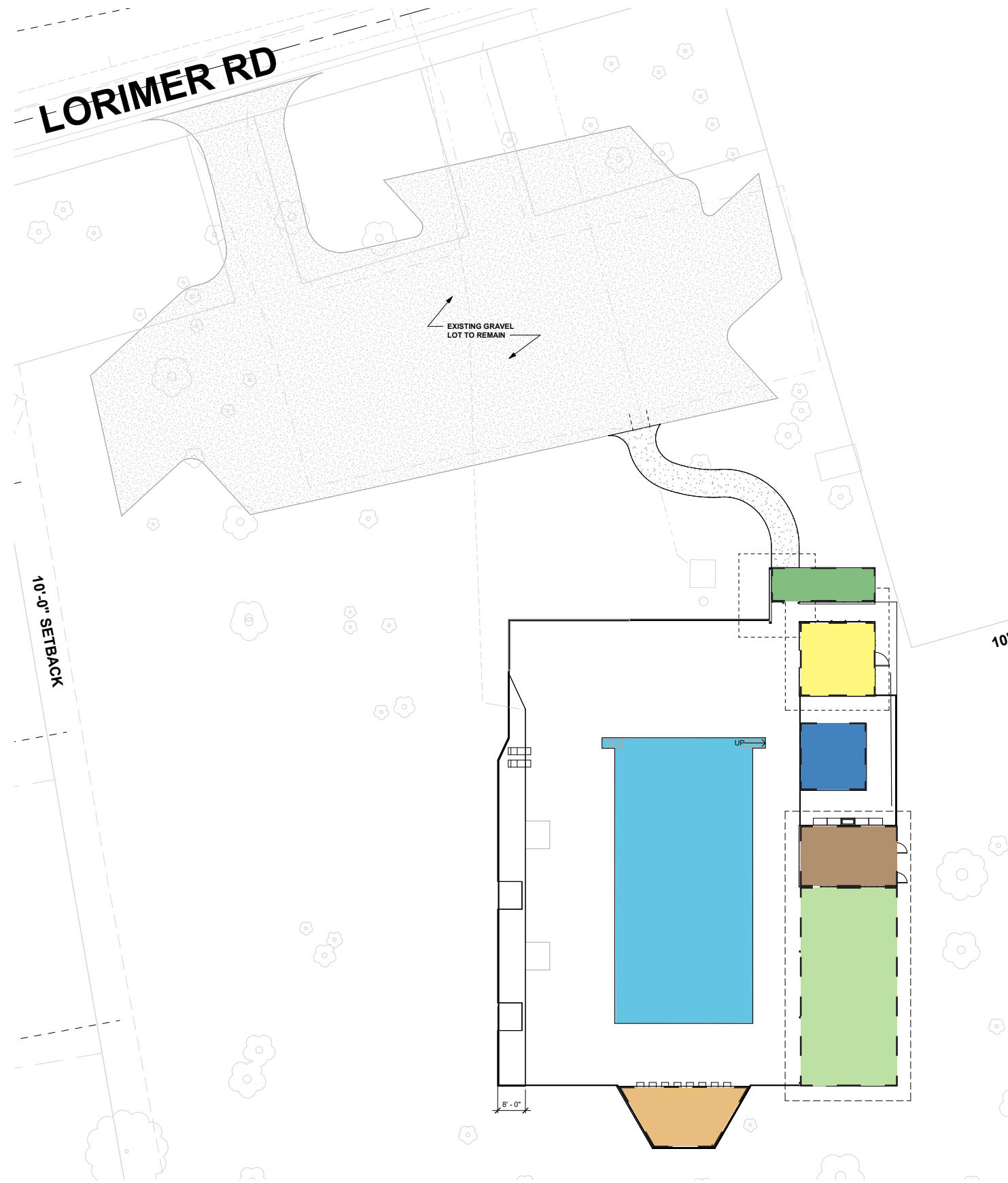


Tree Survey information shown on the left has been completed on January, 2023 by a professional Land Surveyor.








As the swimming hole is an existing site, site disturbance will be at minimum. Proposed building will be located along the 6' chained link fence and it will impact approximately 3 trees on the right side of the pool.

Design team is tracking overall site impervious calculations pre and post construction to minimize stormwater quantity and quality impacts.




# PROPOSED SITE PLAN



## NEW ADDITION

-  Accessible path from the parking lot
-  Entry Courtyard
-  Restrooms & Check In
-  Tot Pool
-  Honest Market & Equipment Storage
-  Pool Deck Expansion
-  Covered Activity Area

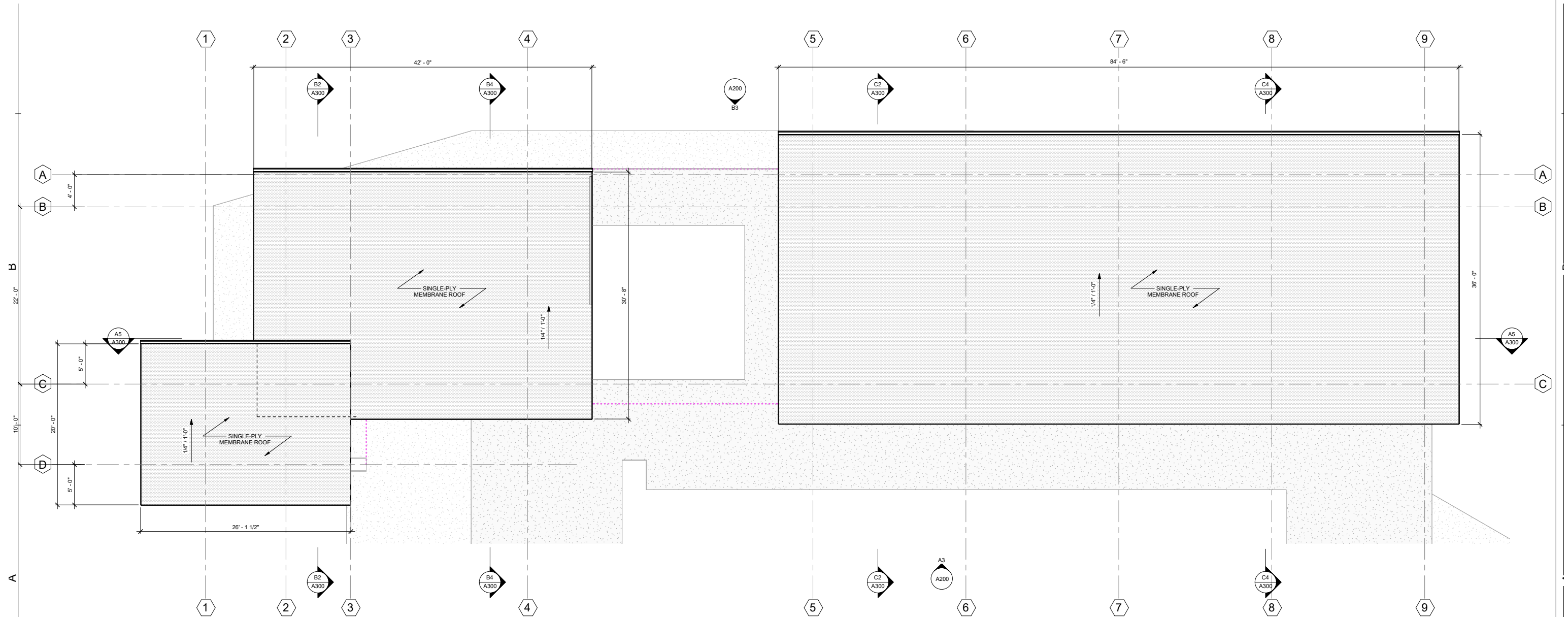
## EXISTING FEATURES

-  Existing Lap Pool to remain
-  Existing Parking lot to remain
-  Existing Pool Deck

# POOL HOUSE PLAN



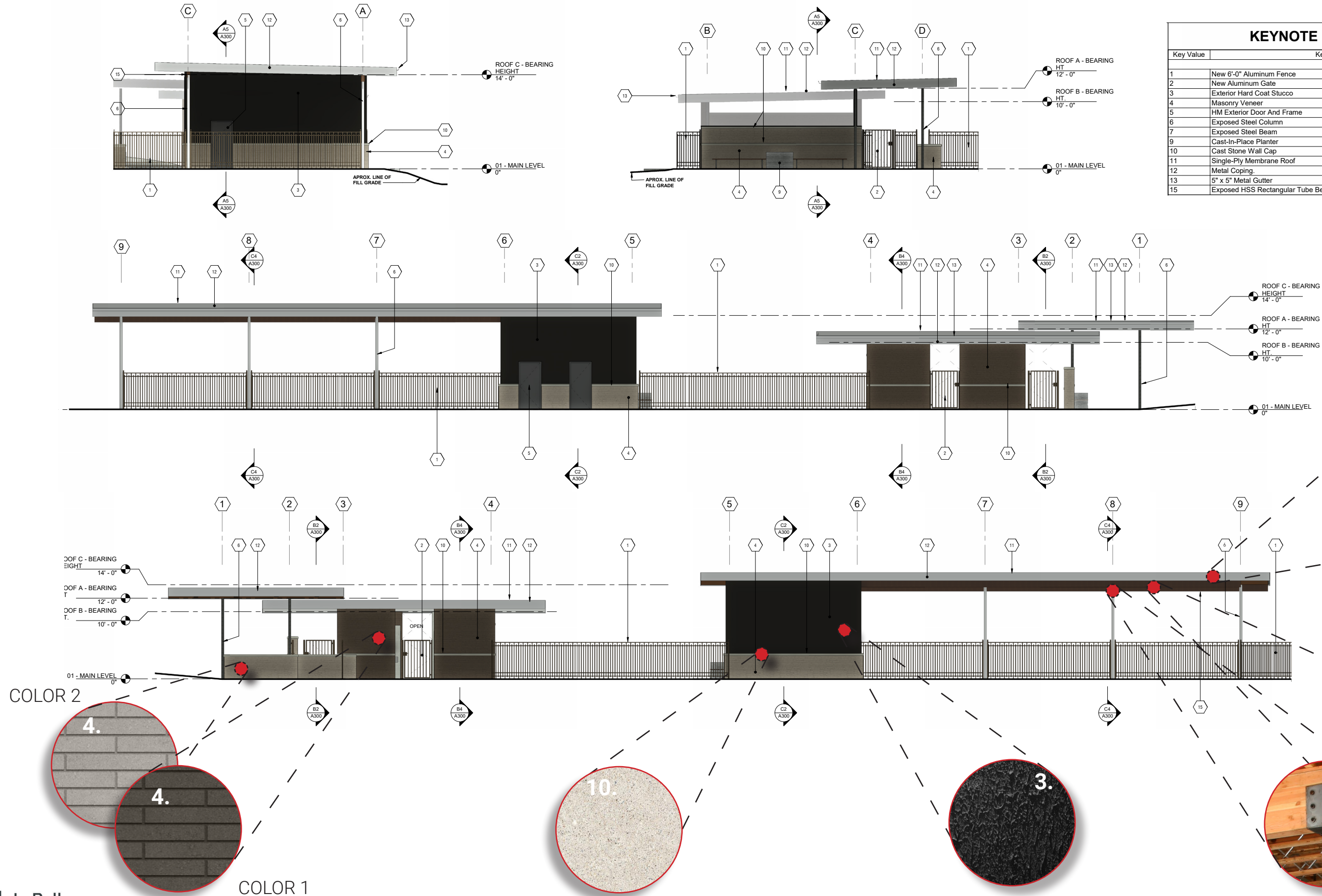
# POOL HOUSE ROOF PLAN



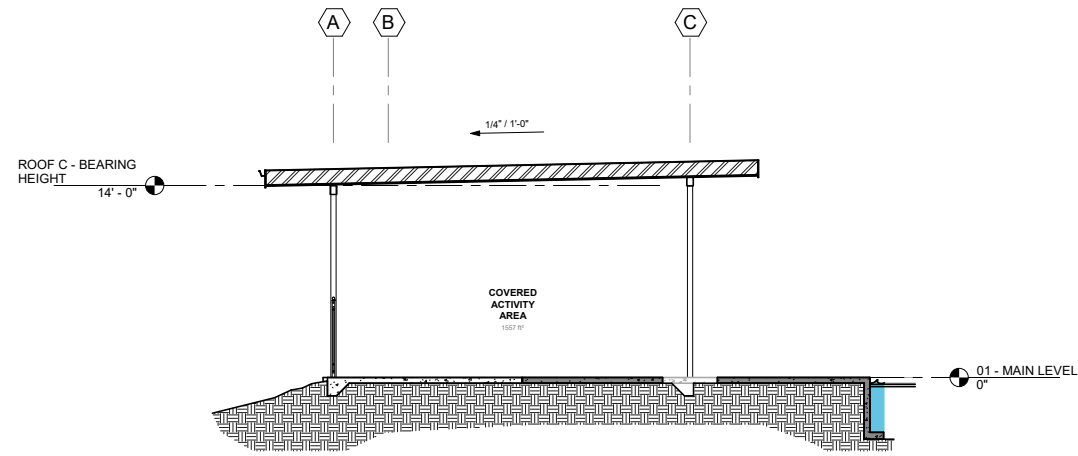
**A3** ROOF PLAN  
3/16" = 1'-0"

# EXTERIOR ELEVATIONS

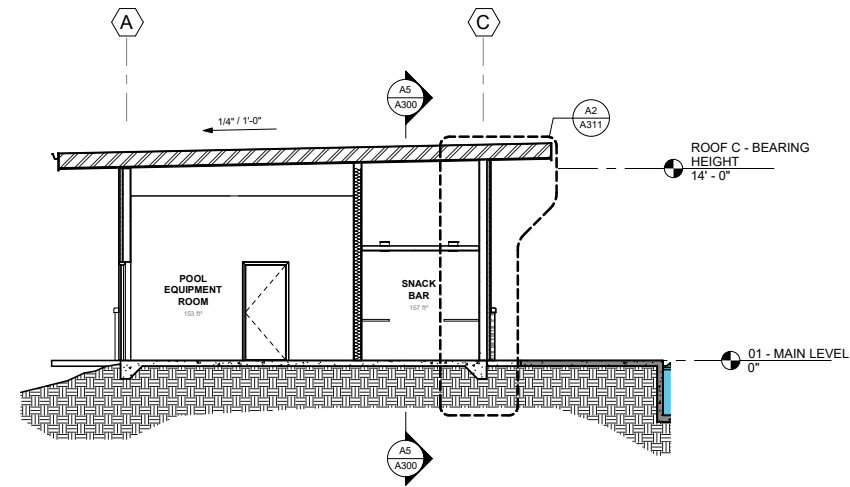
KEYNOTE LEGEND	
Key Value	Keynote Text
1	New 6'-0" Aluminum Fence
2	New Aluminum Gate
3	Exterior Hard Coat Stucco
4	Masonry Veneer
5	HM Exterior Door And Frame
6	Exposed Steel Column
7	Exposed Steel Beam
9	Cast-In-Place Planter
10	Cast Stone Wall Cap
11	Single-Ply Membrane Roof
12	Metal Coping
13	5" x 5" Metal Gutter
15	Exposed HSS Rectangular Tube Beam



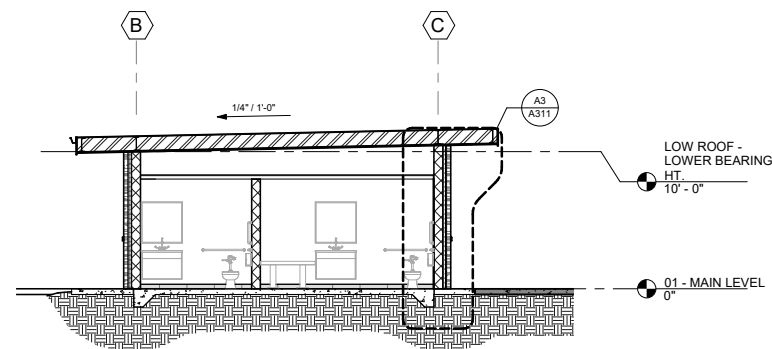
# BUILDING SECTIONS



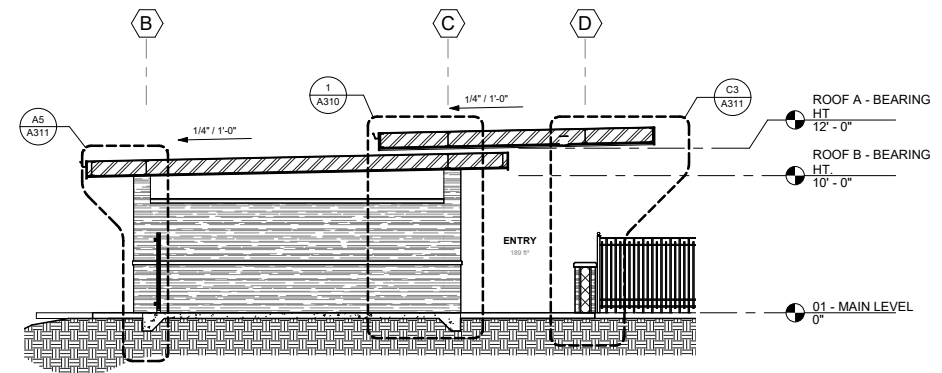
C4 BUILDING SECTION - CROSS5  
3/16" = 1'-0"



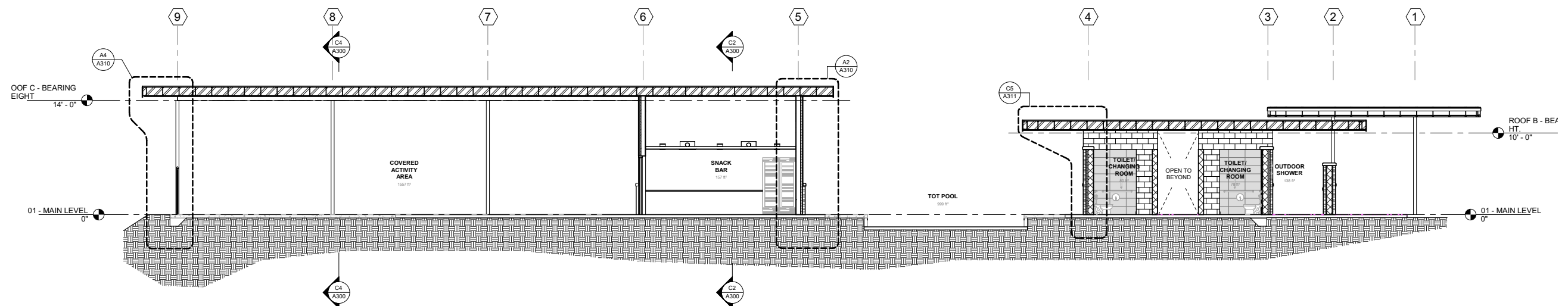
C2 BUILDING SECTION - CROSS2  
3/16" = 1'-0"



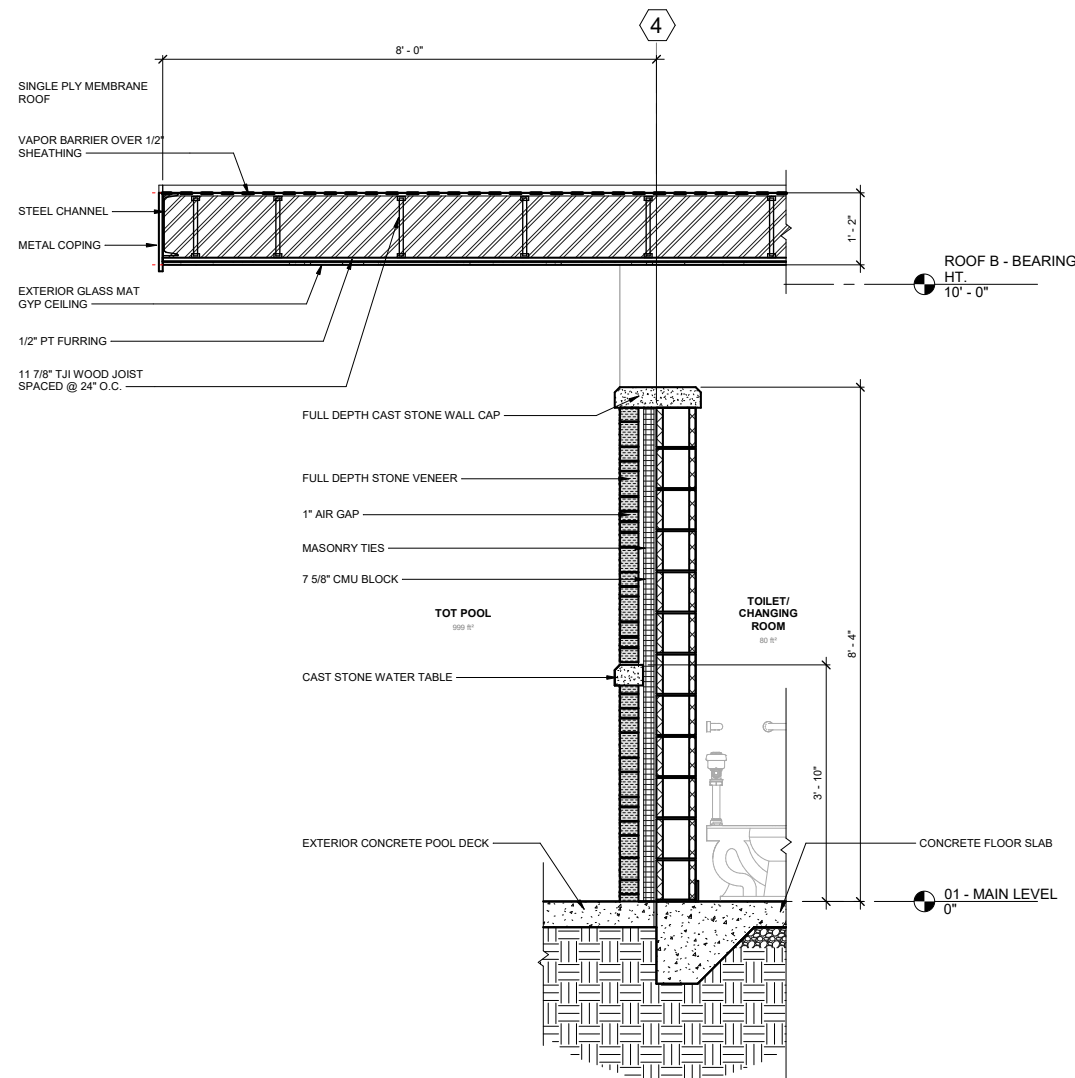
B4 BUILDING SECTION - CROSS3  
3/16" = 1'-0"



B2 BUILDING SECTION - CROSS4  
3/16" = 1'-0"

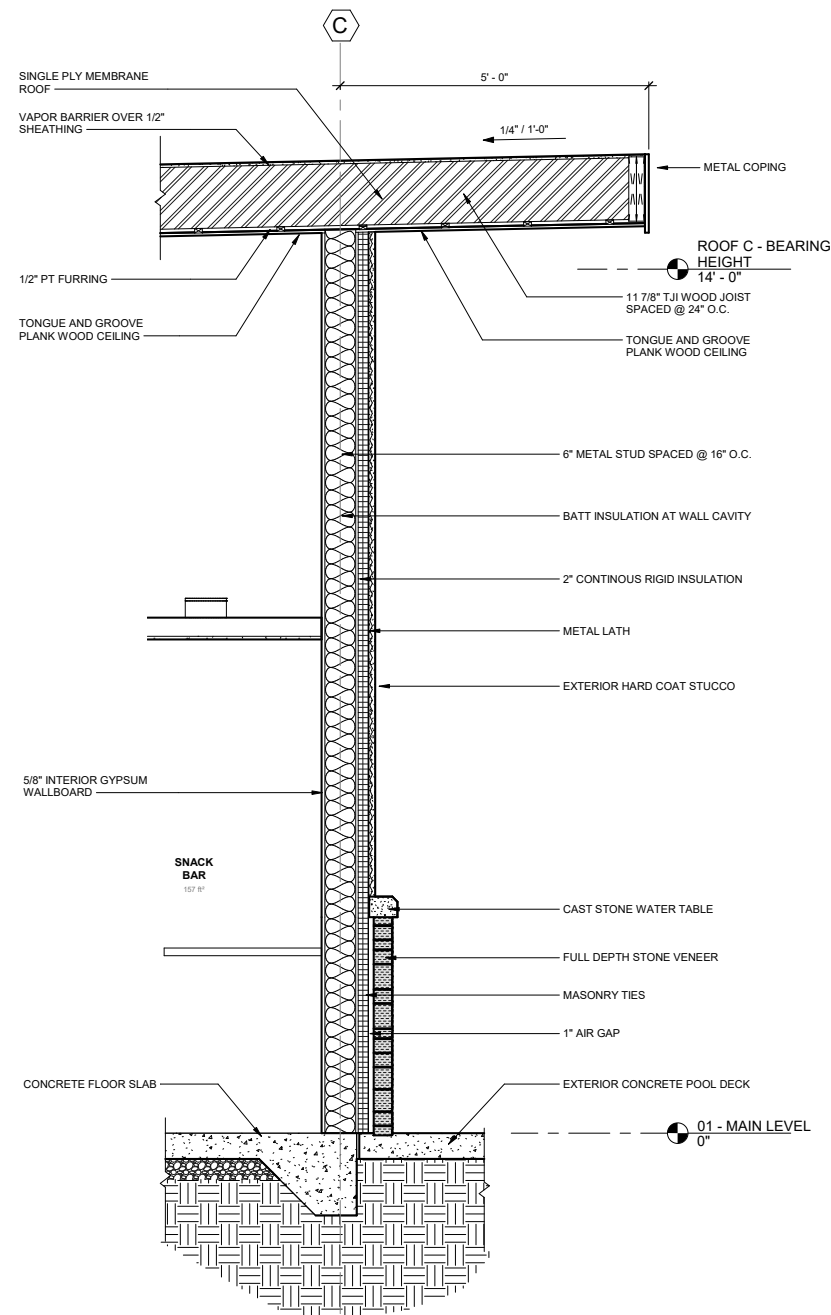


# BUILDING SECTIONS

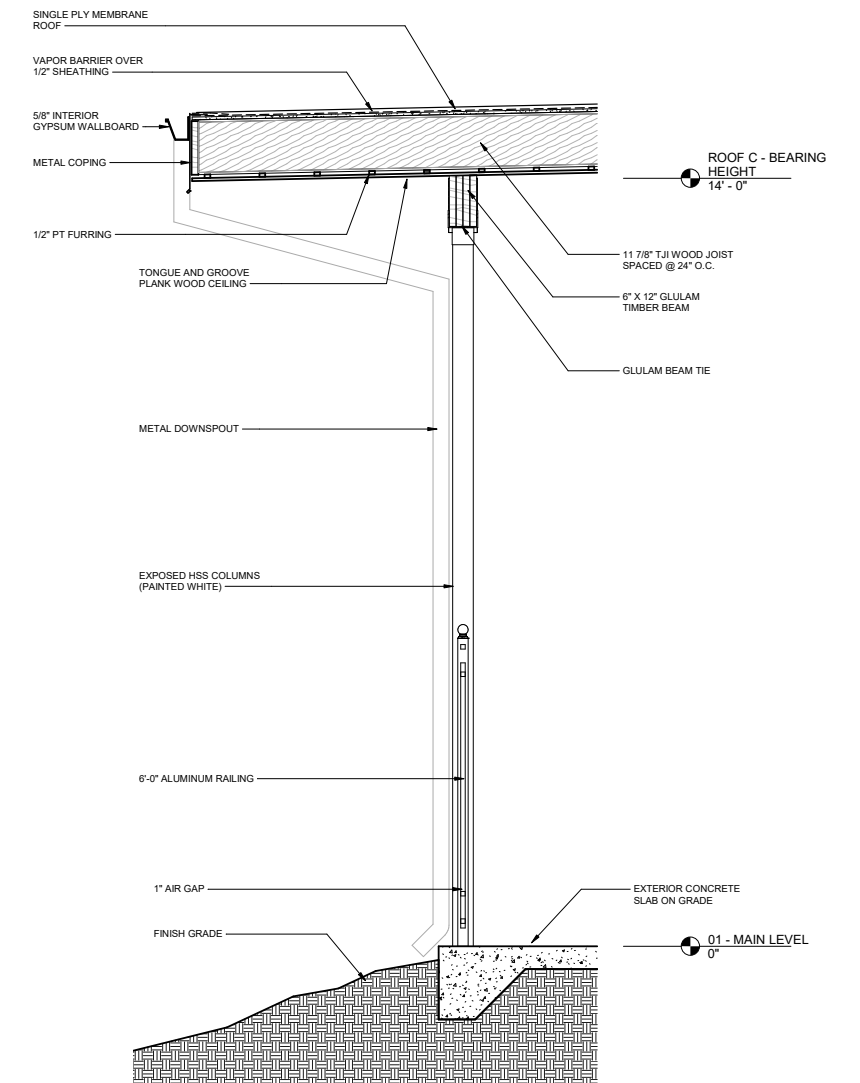


**C5** TOILET CHANGING - WALL SECTION (EAST)  
3/4" = 1'-0"

B



**A2** SNACK BAR - WALL SECTION (SOUTH)  
3/4" = 1'-0"



**A5** BUILDING SECTION - CROSS5 - Callout 1  
3/4" = 1'-0"

RENDERINGS - VIEW FROM PARKING LOT



# RENDERINGS - WELCOME COURTYARD



# RENDERINGS - ENTRY GATE



# RENDERING - OUTDOOR SHOWER & RESTROOMS



RENDERINGS - EXISTING TOT POOL



# RENDERING - OPEN AIR ACTIVITY SPACE



# RENDERING - VIEW INTO ACTIVITY SPACE



RENDERING - VIEW TOWARDS TOT POOL





## DESIGN REVIEW BOARD: STAFF REPORT

Date: July 17, 2024  
To: Design Review Board  
From: Lindsay Laird, Senior Planner  
Re: Sadler Square – For approval of building schematic design

### INTRODUCTION

#### APPLICANT INFO

- **Project:** Sadler Square Façade Improvements
- **Location:** 201-267 Griffith Street in Davidson, NC (Parcel ID 00325506)
- **Applicant:** Johnathan Stewart, Piedmont Capital
- **Designer:** Robert Johnson Architects
- **Planning Area(s):** Village Commerce

The DRB informally reviewed this project at the February 21, 2024, and April 17, 2024, meetings. This is the first decision meeting for this project.

#### PROJECT DESCRIPTION

Piedmont Capital proposes façade changes to the Sadler Square shopping center at 201-267 Griffith Street in Davidson, NC (Parcel ID 00325506). The existing building, originally constructed in 1979, is one story and +/-37,827 SF. Existing facades are a combination of brick and EFIS stucco.

The applicant's stated goal is to improve the aesthetic of the existing building. The current building is functional but has not been updated in many years. Improving the aesthetic will include new façade features, paint, renewed or new storefronts, and creation of additional patio opportunities. There will be no changes to the existing building footprint and only minor height changes associated with new façade features.

**EXISTING CONDITIONS**



**Figure 1. Partial Facade**



**Figure 2. Entire Building**



**Figure 3. Existing Facade Details**



**Figure 4. Existing Facade Details**

**PREVIOUS DESIGNS**



**Figure 5. 02/21/2024 FYI Review #1**



**Figure 6. 04/17/2024 FYI Review #2**

## PLANNING STAFF REVIEW

Below is a summary of planning and development standards related to this proposal. Feedback requested/unresolved items are in *red italics*.

### A. General Site Design Standards

- **4.3.1.A Pedestrian & Vehicle Access:** Compliant – existing building
- **4.3.1.B Building Location & Orientation:** Compliant – existing building
- **4.3.1.C Building Height:** N/A – no changes to building height
- **4.3.1.D Fences, Hedges & Garden Walls:** N/A
- **4.3.1.E Loading/Service Areas, Mechanical Equipment and Utilities:** Compliant – loading facilities are located to the rear of the existing building
- **4.3.1.F Encroachments:** N/A
- **4.3.1.G Development Plans with Multiple Buildings:** N/A
- **4.3.1.H Public Spaces:** N/A
- **4.3.2 Redevelopment in Existing Buildings:** Compliant – no changes proposed to street frontage, building orientation, front setback, building form, etc.

### B. General Building Design Standards

- **4.4.1.A Building Height:** N/A – no changes to building height
- **4.4.1.B Form and Massing:** For large scale buildings, the front façade shall create repetitive bays, or the façade shall be divided into an asymmetrical, yet balanced, composition. Additionally, Buildings on a corner or axial termini should be designed with additional height or architectural embellishments to emphasize their location.  
*Do façade elements (i.e., canopies, parapets, brackets, etc.) create repetitive bays or divide the façade into an asymmetrical yet balanced composition?*
- **4.4.1.C Façade Articulation:** Compliant – All building facades visible from a public street shall have: (1) a recognizable base and (2) a recognizable top. It appears that planters and benches will be used to emphasize the base of the building under the canopy. The top of the building is distinguished with dark metal coping along most of the façade and a parapet with decorative brackets above the anchor tenant space. Additionally, the façade is modulated through use of the metal canopy.
- **4.4.1.D Façade Transparency:** Compliant – existing building
- **4.4.1.E Materials:** Compliant – All facades visible from a public street/open space shall utilize high-quality finish materials including, but not limited to: (a) Brick, masonry, or stone; (b) Integrally tinted, textured masonry block; (c) Stucco; (d) Wood or cementitious siding; (e) Glass. Where sloped roofs and structural canopies are used, they shall be covered with: (a) asphalt shingles, (b) clay tile, (c) slate, (d) concrete tile, (e) ribbed metal, or (f) wood shakes/shingles.
- **4.4.1.F Architectural Details:** Architectural elements like openings, sills, bulkheads, columns, and other architectural features shall be used to establish human scale at the street level.  
*Review canopies/columns and the corner element at the existing entrance to Our Town Cinemas. Do these elements help to establish human scale?*

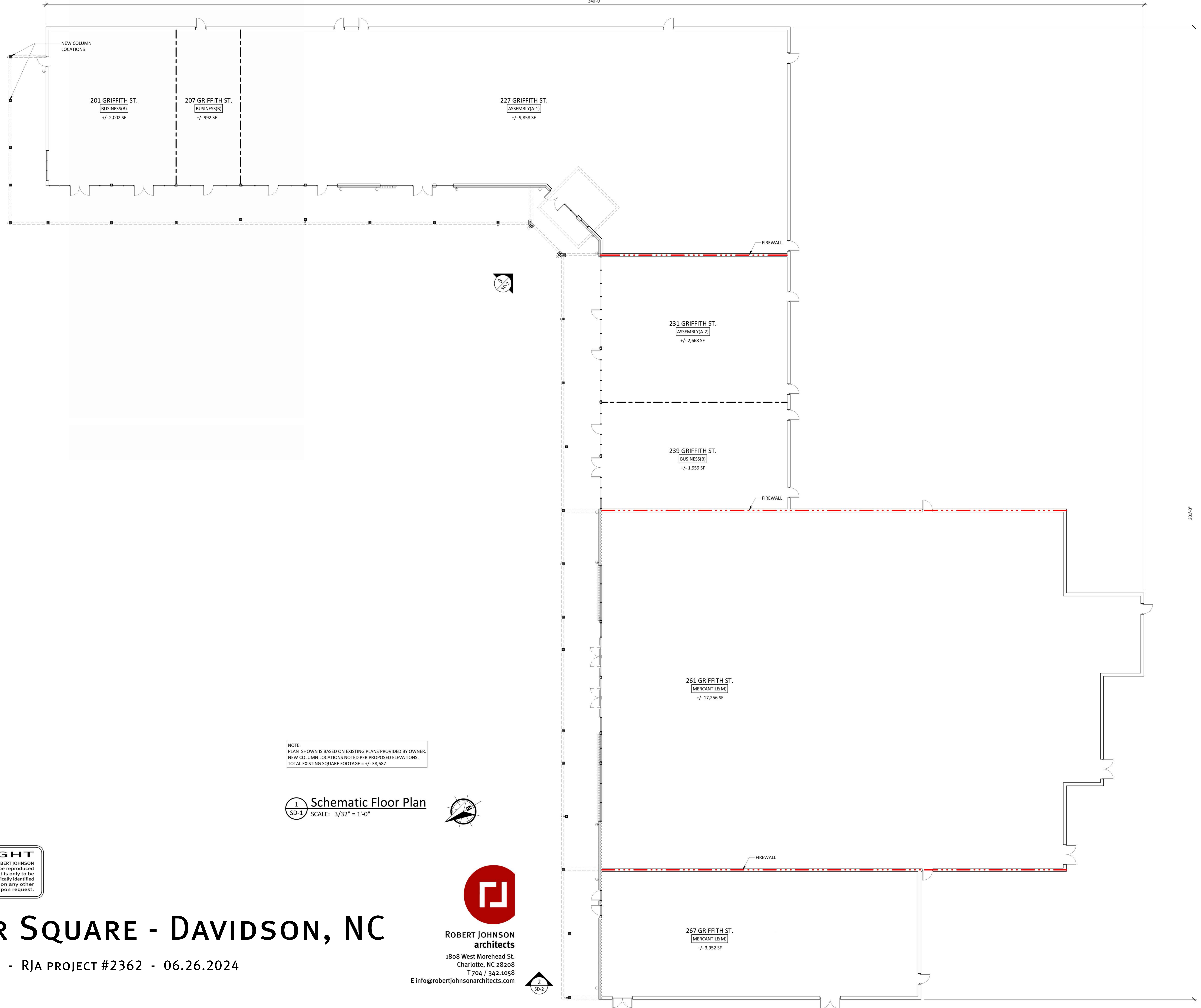
### C. Specific Building Type Requirements – Storefront Building

- **4.5.6.A Retail Uses:** Compliant

- **4.5.6.B Façade Transparency:** Compliant – existing building
- **4.5.6.C First Floor Height:** N/A
- **4.5.6.D Proportions:** Building elements shall have a dominant vertical proportion.  
*Do façade changes create verticality to the extent possible on this existing building?*
- **4.5.6.E Active Uses Required:** Compliant – existing building
- **4.5.6.F Multiple Entrances Required:** Compliant
- **4.5.6.G Distinguish Major Entrances:** Major building entrances that provide access to the primary use of the building shall be distinguished from the entrances used for secondary uses.  
*Are entrances to primary uses (i.e., corner tenant (Our Town Cinemas) & anchor (market) tenant) adequately distinguished from entrances to secondary uses?*
- **4.5.6.H Principal Entrances Shall Front Street:** Compliant – existing building
- **4.5.6.I Secondary Uses:** N/A - Secondary uses/entrances may be located off a rear parking area.
- **4.5.6.J Storefront Buildings in the NS Overlay:** N/A

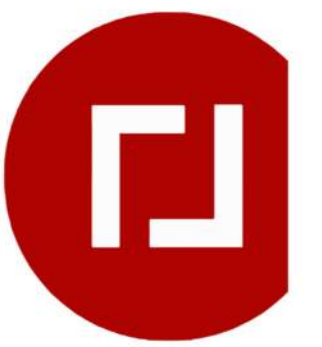
## RESOURCES & ATTACHMENTS

- Davidson Planning Ordinance (DPO): [www.townofdavidson.org/planningordinance](http://www.townofdavidson.org/planningordinance)

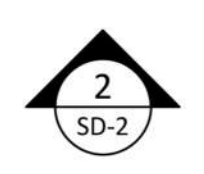


NOTE:  
 PLAN SHOWN IS BASED ON EXISTING PLANS PROVIDED BY OWNER.  
 NEW COLUMN LOCATIONS NOTED PER PROPOSED ELEVATIONS.  
 TOTAL EXISTING SQUARE FOOTAGE = +/- 38,687

1 Schematic Floor Plan  
 SD-1 SCALE: 3/32" = 1'-0"



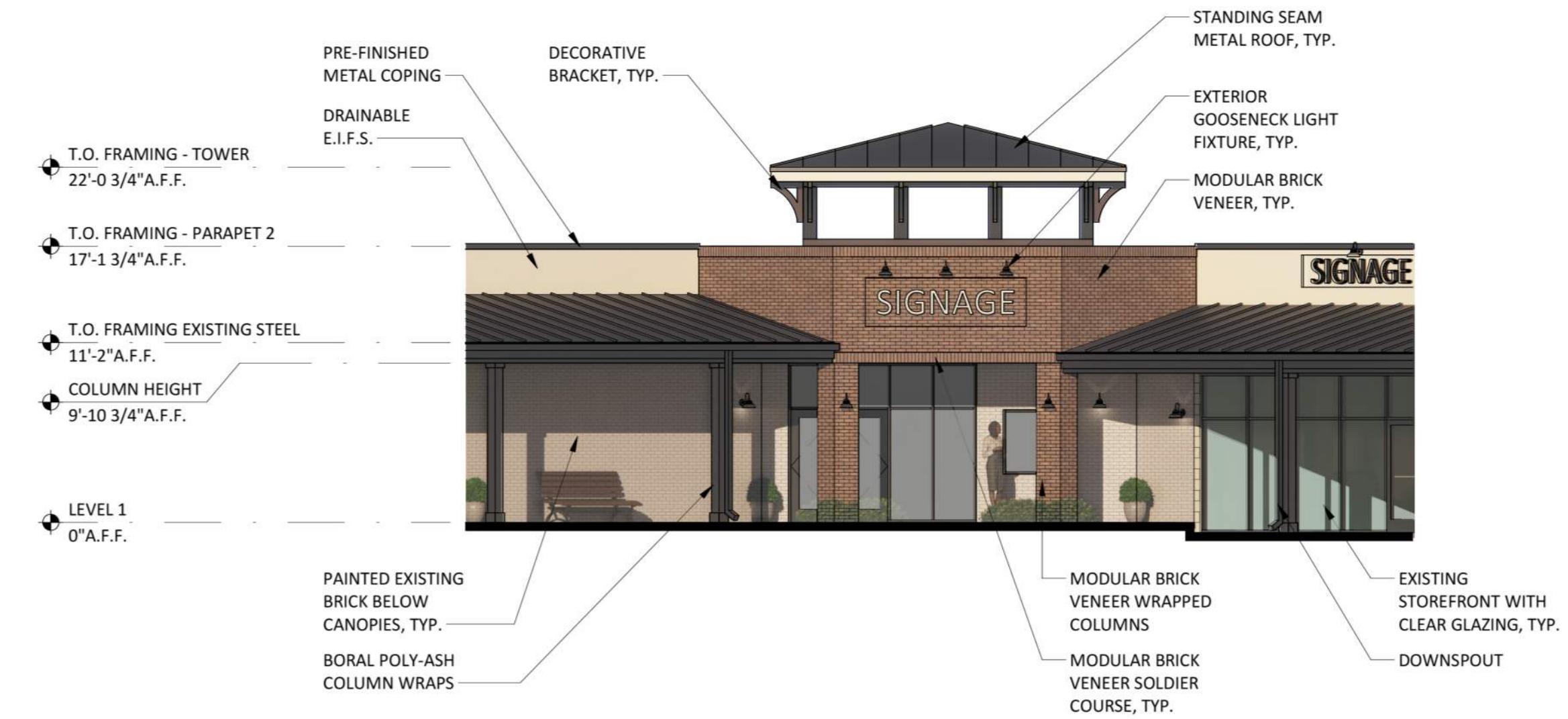
**ROBERT JOHNSON**  
**architects**  
 1808 West Morehead St.  
 Charlotte, NC 28208  
 T 704 / 342.1058  
 E info@robertjohnsonarchitects.com



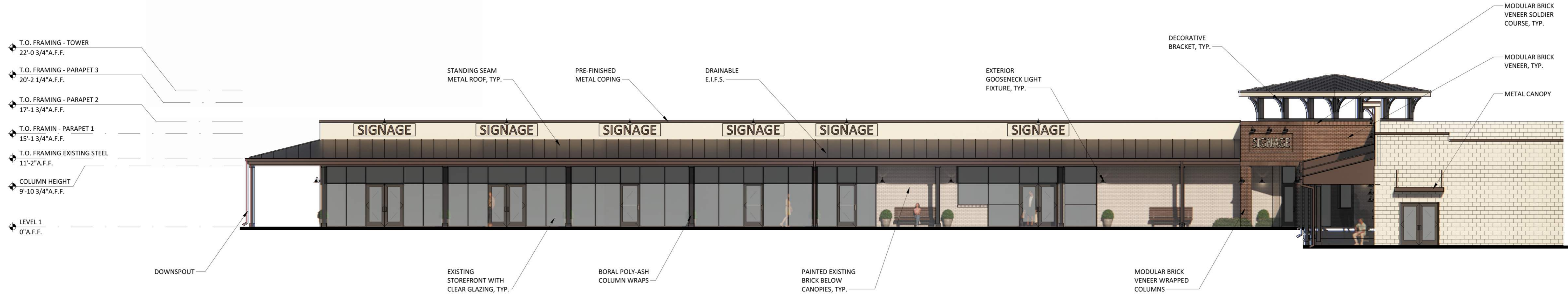
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# SADLER SQUARE - DAVIDSON, NC

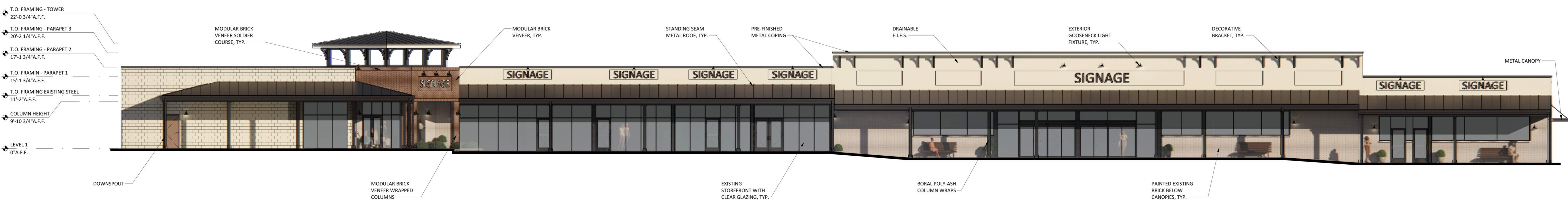
SCHEMATIC PLAN - RJA PROJECT #2362 - 06.26.2024



3 Schematic Elevation 3  
SD-2 SCALE: 1/8" = 1'-0"



2 Schematic Elevation 2  
SD-2 SCALE: 1/8" = 1'-0"



1 Schematic Elevation 1  
SD-2 SCALE: 1/8" = 1'-0"

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E info@robertjohnsonarchitects.com

# SADLER SQUARE - DAVIDSON, NC

PROPOSED ELEVATIONS - RJA PROJECT #2362 - 06.26.2024



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# SADLER SQUARE - DAVIDSON, NC

PROPOSED PERSPECTIVES - RJA PROJECT #2362 - 06.26.2024



## DESIGN REVIEW BOARD: STAFF REPORT

Date: July 17, 2024  
To: Design Review Board  
From: Lindsay Laird, Senior Planner  
Re: 201 South Street – For approval of building schematic design

### INTRODUCTION

#### APPLICANT INFO

- **Project:** 201 South Street Addition
- **Location:** 201 South Street (Parcel ID 00701328)
- **Applicant:** Rudderr, LLC (Karl Plattner, Plattner Builders)
- **Designer:** LaBella Associates
- **Planning Area(s):** Village Center

The DRB informally reviewed this project at the April 17, 2024, meeting. This is the first decision meeting for this project.

The existing office building at 201 South Street is contributing to Davidson’s National Register historic district. The National Register historic district designation includes the following:

**Dr. J. Wilson McConnell Office**  
201 South Street, ca. 1926, Contributing Building

One story, single pile, brick veneered office; flat roof with parapet; gabled entry porch with square wooden posts on north elevation; nine-over-nine windows.

Though this property is historically significant, the Davidson Historic District Design Standards do not apply as the house is not designated as part of the local historic district.

#### PROJECT DESCRIPTION

The project proposes to keep the existing house at 201 South Street and construct a +/- 589 SF addition with a +/- 200 SF mezzanine on the Main Street/South Street façade of the building. The new addition is planned for retail use with high visibility and street access from the corner of South Street and Chairman Blake Lane. Proposed building materials include Sherwin Williams

“Proper Gray” painted brick, Sherwin Williams “Peppercorn” fiber cement panels on the connection between the historic building and new addition, wood clad panels above the main entrance to the addition, and black exterior windows and doors. A light fixture detail was not provided with the submittal.

**EXISTING CONDITIONS**



**Figure 1. View from Chairman Blake Ln**



**Figures 2 & 3. View from South Street Corner**



Figure 4. View From South Main Street



Figure 5. View From South Street



**Figure 6. View From Chairman Blake Lane**



**Figure 7. View From Chairman Blake Lane**



Figure 8. Corner View of Chairman Blake & South Street

## PLANNING STAFF REVIEW

Below is a summary of planning and development standards related to this proposal. Feedback requested/unresolved items are in *red italics*.

### A. 2.2.1 Village Center Planning Area Standards

- **2.2.1.B Permitted Uses:** Compliant – retail, primary uses are permitted in the VC planning area
- **2.2.1.C Permitted Building Types:** Compliant
- **2.2.4.D Setbacks:** Compliant

### B. 4.3 General Site Design Standards

- **4.3.1.A Pedestrian & Vehicle Access:** Compliant – primary pedestrian entry faces the corner of South Street/S Main Street
- **4.3.1.B Building Location & Orientation:** Compliant – existing building
- **4.3.1.C Building Height:** Compliant – existing 1 story building
- **4.3.1.D Fences, Hedges & Garden Walls:** There are existing retaining walls on site. Any new retaining walls will be reviewed as part of the site construction document submittal for compliance with the Davidson Planning Ordinance.
- **4.3.1.E Loading/Service Areas, Mechanical Equipment and Utilities:** Mechanical equipment (except small items such as fans and vents), utility meters, storage areas, solid waste containers, transformers, generators, HVAC units and similar features, or other utility hardware on the building, roof, or ground shall be screened from public view with materials similar to the structure; OR they shall be so located as not to be visible from a primary fronting public street. In certain cases, screening using natural materials may be preferable.  
*Confirm that all mechanical equipment will be adequately screened from public view.*
- **4.3.1.F Encroachments:** N/A

- **4.3.1.G Development Plans with Multiple Buildings:** N/A
  - **4.3.1.H Public Spaces:** N/A
- C. **4.3.2 Redevelopment in Existing Buildings:** This section is intended to ensure the compatibility of infill development and redevelopment to surrounding neighborhoods.
- **4.3.2.D Street Frontage:** Compliant
  - **4.3.2.E Rhythm of Development Along the Street:** Established building rhythms along street frontages should be continued. Larger buildings can be integrated into smaller-scale neighborhoods by creating repetitive bays with facade articulation.  
*Are established building rhythms along street frontages continued with this building addition?*
  - **4.3.2.F Building Orientation:** Compliant
  - **4.3.2.G Front Setback Patterns:** Compliant – the building addition setback is compatible with surrounding commercial buildings in downtown with zero-foot front setbacks
  - **4.3.2.H Building Form:** Massing, proportion, scale, setbacks, spaces between buildings, and their relative positions should be used to integrate new development into existing streetscapes.  
*Is the building addition adequately integrated into existing streetscapes?*
  - **4.3.2.I Density:** Compliant - Density should increase closer to mixed use and commercial nodes.
  - **4.3.2.J Building Design:** Buildings should be designed to respect the existing built environment, but not be explicit reproduction of past historical styles.  
*Do the proposed changes respect the existing built environment?*
- D. **4.4 General Building Design Standards**
- **4.4.1.A Building Height:** Compliant (see also 4.7 Renovation of Existing Structures)
  - **4.4.1.B Form and Massing:** Buildings on a corner or axial termini should be designed with additional height or architectural embellishments to emphasize their location.  
*Do the proposed changes adequately emphasize the location of the building at the corner of South Street/S Main Street?*
  - **4.4.1.C Façade Articulation:** Compliant –All building facades visible from a public street shall have: (1) a recognizable base and (2) a recognizable top. The base of the addition has a brick water table, while the top of the addition is distinguished with wooden paneling.
  - **4.4.1.D Façade Transparency:** Compliant – glazing calculation provided on sheet 11
  - **4.4.1.E Materials:** Building materials and colors shall be: (a) Complementary to the materials already being used in the neighborhood, or (b) if dissimilar materials are proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.  
*Are proposed building materials complementary to the materials already in use in the neighborhood?*
  - **4.4.1.F Architectural Details:** Architectural elements shall be used to establish human scale at the street level. Fenestration shall be architecturally related to the style, materials, colors, and details of the building. The main entry to a building should be emphasized at the street level.  
*Do architectural elements help to establish human scale at the street level?*

*Is fenestration architecturally related to the style, materials, colors, and details of the building?*

*Is the main entry emphasized at the street level?*

**E. 4.5 Specific Building Type Requirements – Storefront Building**

- **4.5.6.A Retail Uses:** Compliant
- **4.5.6.B Façade Transparency:** Compliant – glazing calculation provided on sheet 11
- **4.5.6.C First Floor Height:** Compliant – height of addition provided on sheet 11
- **4.5.6.D Proportions:** Building elements shall have a dominant vertical proportion.  
*Does the proposed addition have a dominant vertical proportion?*
- **4.5.6.E Active Uses Required:** Compliant
- **4.5.6.F Multiple Entrances Required:** Compliant
- **4.5.6.G Distinguish Major Entrances:** Compliant
- **4.5.6.H Principal Entrances Shall Front Street:** Compliant
- **4.5.6.I Secondary Uses:** N/A
- **4.5.6.J Storefront Buildings in the NS Overlay:** N/A

- F. 4.7 Renovation of Existing Structures:** Compliant – Changing or rebuilding 50 percent or more of any façade of a building requires the entire building to comply with the design regulations that are specific to facades, except the requirement for two-story buildings.

## RESOURCES & ATTACHMENTS

- Davidson Planning Ordinance (DPO): [www.townofdavidson.org/planningordinance](http://www.townofdavidson.org/planningordinance)
- Davidson National Register Historic District: [Designation Report](#)



# Plattner Builders Office Renovation

Design Review Board Application  
June 19, 2024

201 South Street,  
Davidson, NC 28036

On the intersection of  
Chairman Blake Ln & South St

PROJECT TEAM  
President of Plattner Builders | Karl Plattner  
Architectre | LaBella Associates

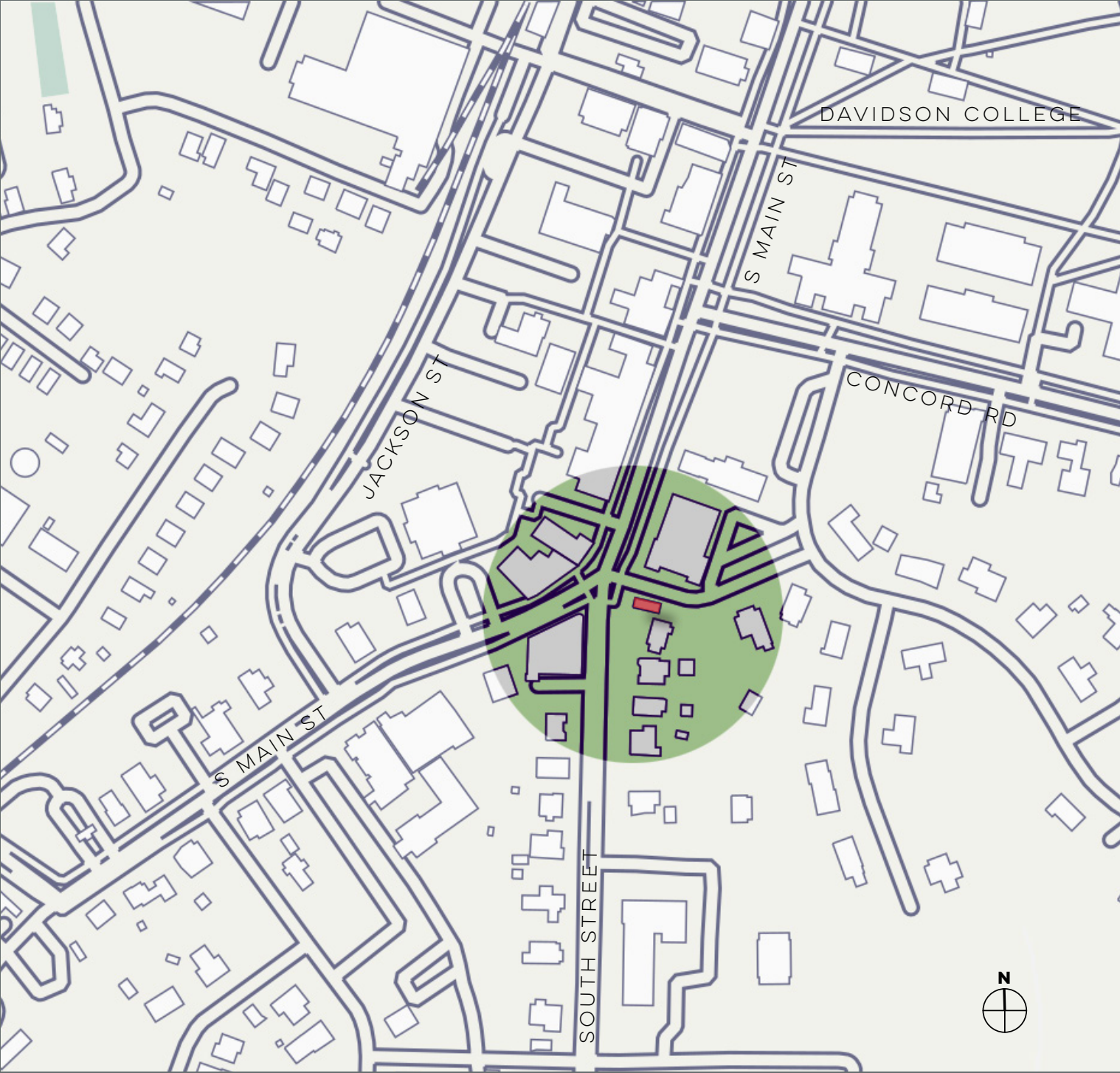
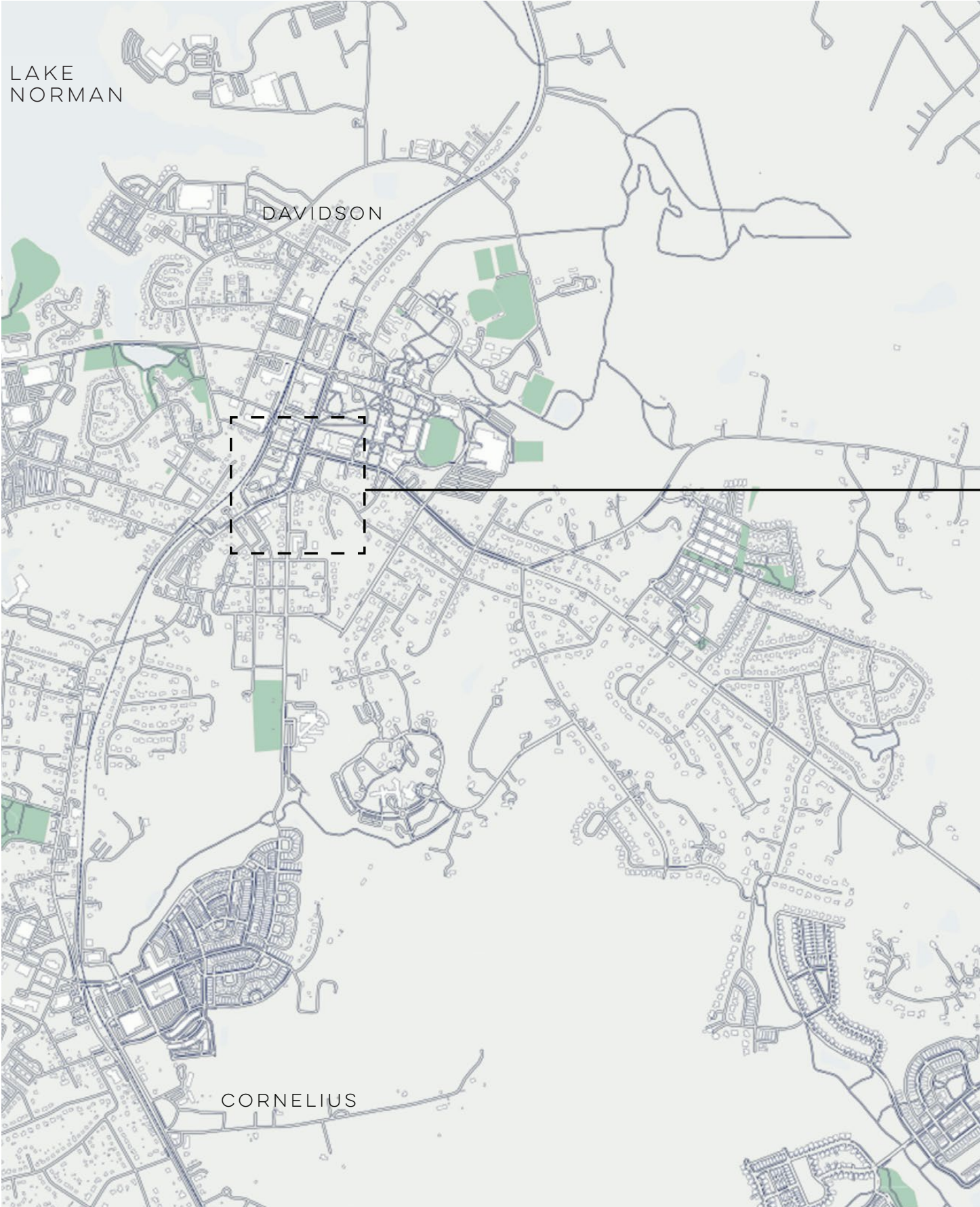




## **TABLE OF CONTENTS**

3	PROJECT LOCATION & CONTEXT
5	STATEMENT OF COMPLIANCE
6	PROPOSED SITE PLAN
7	BUILDING PLAN & SECTION
8	BUILDING PLAN & SECTION
9	ELEVATIONS
10	ELEVATIONS, MATERIALS
11	GLAZING PERCENTAGE & DETAILS
12-16	RENDERINGS

# PROJECT LOCATION | VICINITY MAP



# ADJACENT CONTEXT



Site is in the middle of bustling town center at the intersection of Chairman Blake Lane and South Street meets South Main St.



2 story masonry buildings are commonly found in the neighborhood with shared characteristics of bright colors, window awnings, and welcoming storefronts.



## PROJECT NARRATIVE - Statement of compliance

Project at 201 South Street in downtown Davidson is an opportunity to revitalize the existing structure and expand on this prominent parcel. The project proposes to keep the existing single story brick building and retaining walls as close to original as possible to preserve the history of the building and site. The existing structure will be renovated for office use.

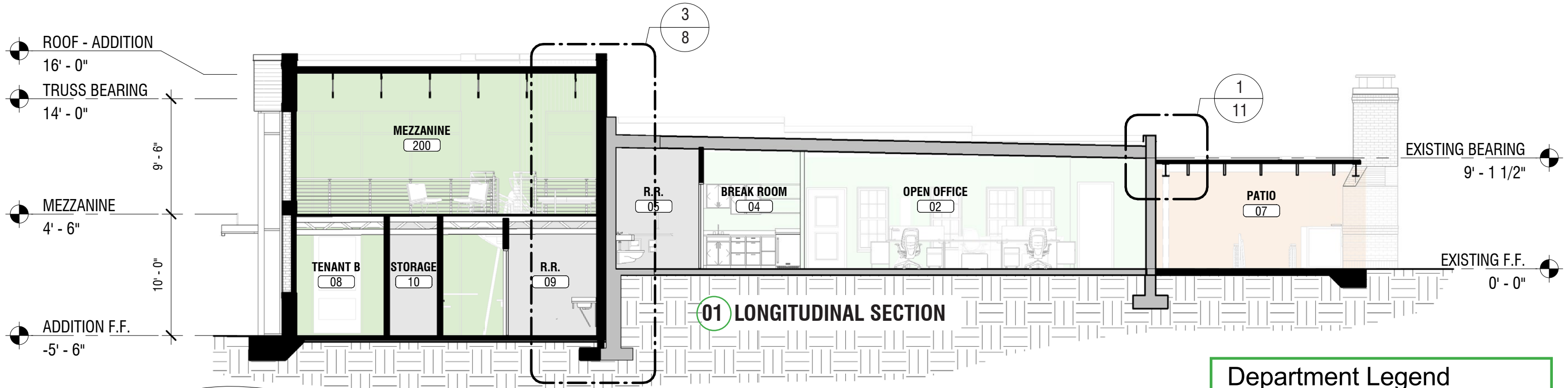
This project is proposing a modest addition to the facade facing South/Main Street which will bring the building expansion to an accessible street level relationship. The new structure is proposed as retail use with visibility and street access from the corner of South Street and Chairman Blake Lane. The addition structure, while a double height mass as presented from South/Main will carry a similar roof height as the existing structure due to the existing grade change.



PROPOSED SITE PLAN - LANDSCAPE CONCEPT

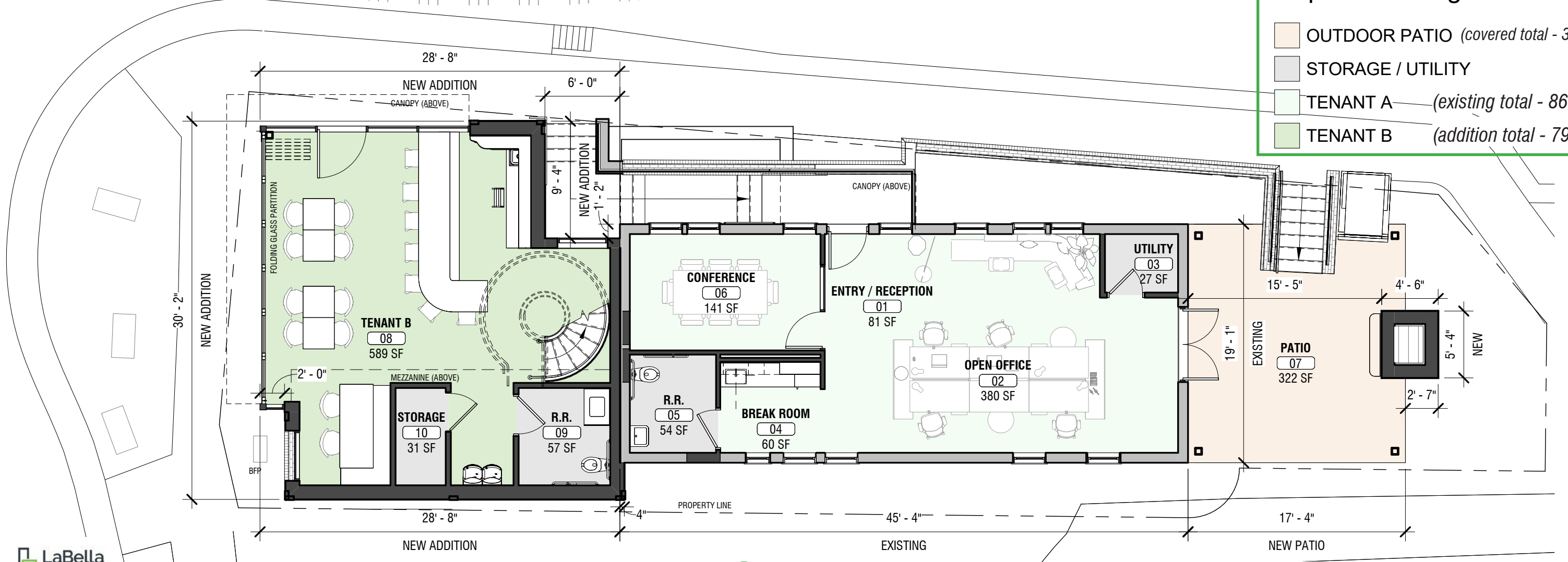


# FIRST FLOOR PLAN & BUILDING SECTION

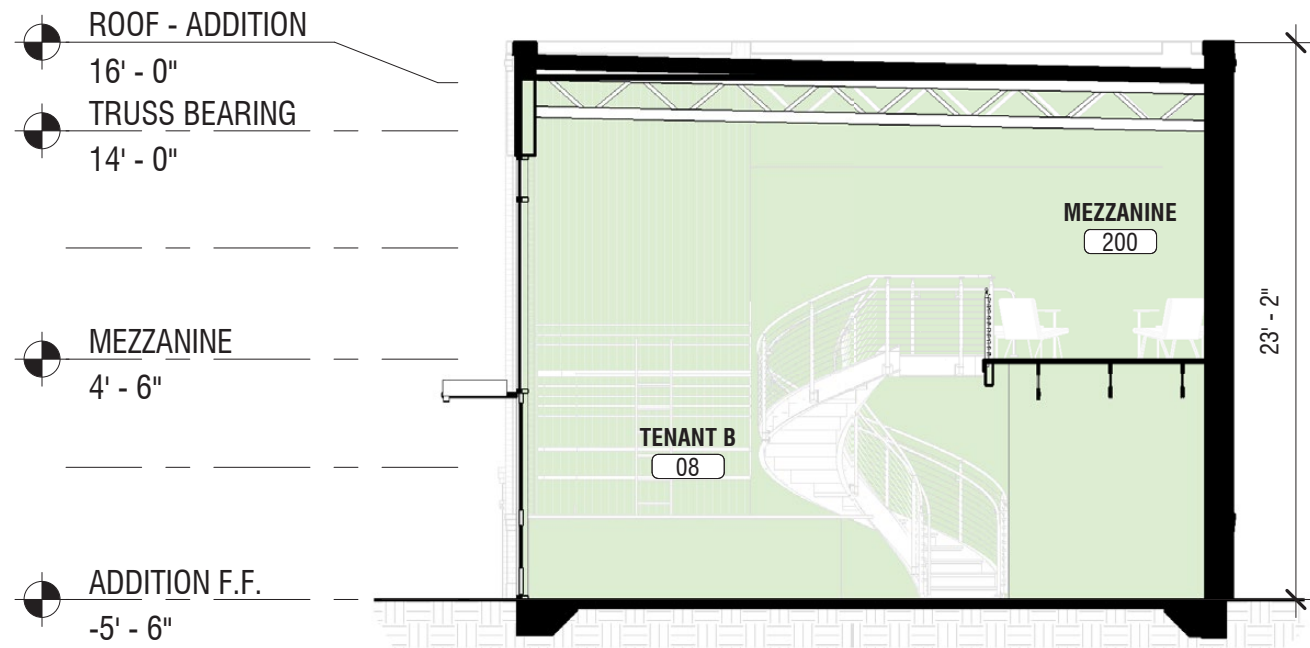


### Department Legend

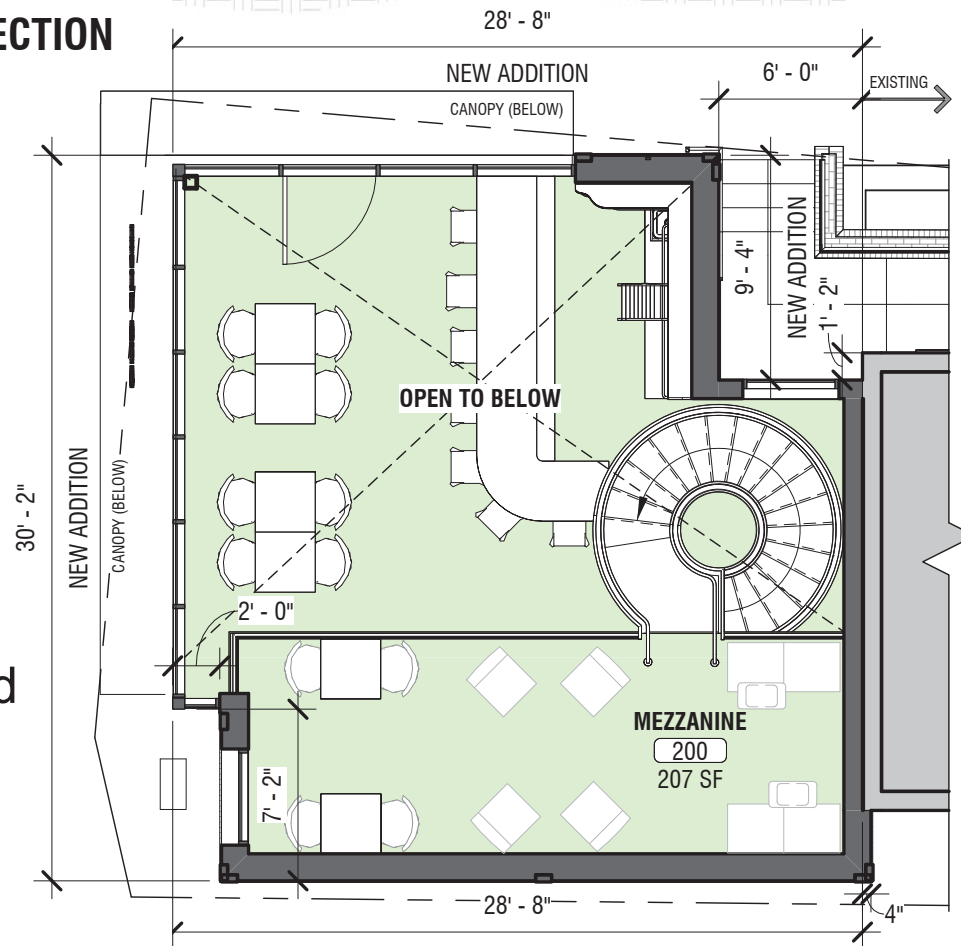
- OUTDOOR PATIO (covered total - 318sf)
- STORAGE / UTILITY
- TENANT A (existing total - 863sf)
- TENANT B (addition total - 796sf)



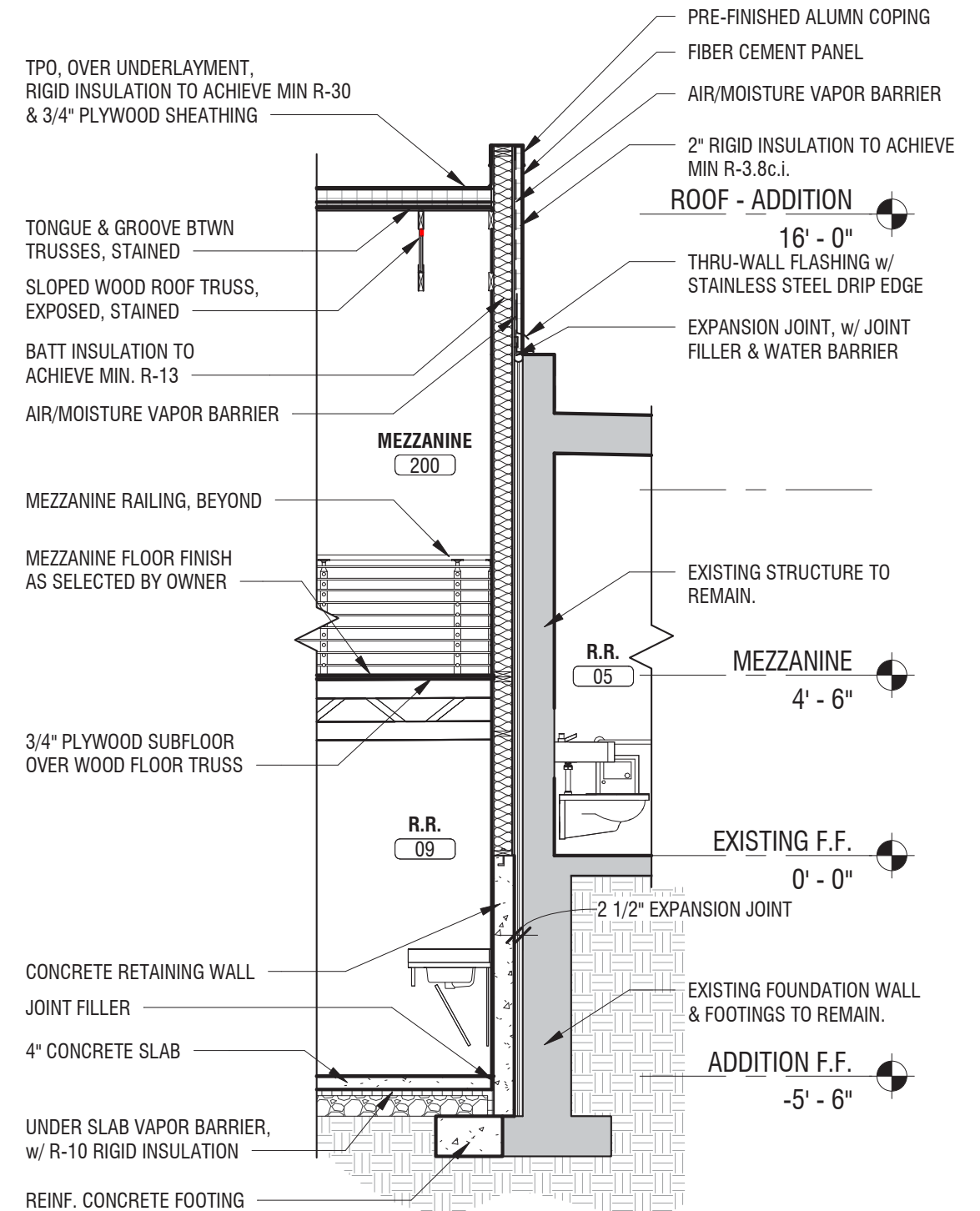
# MEZZANINE FLOOR PLAN & SECTIONS



**01 TRANSVERSE SECTION**



**02 MEZZANINE FLOOR PLAN**



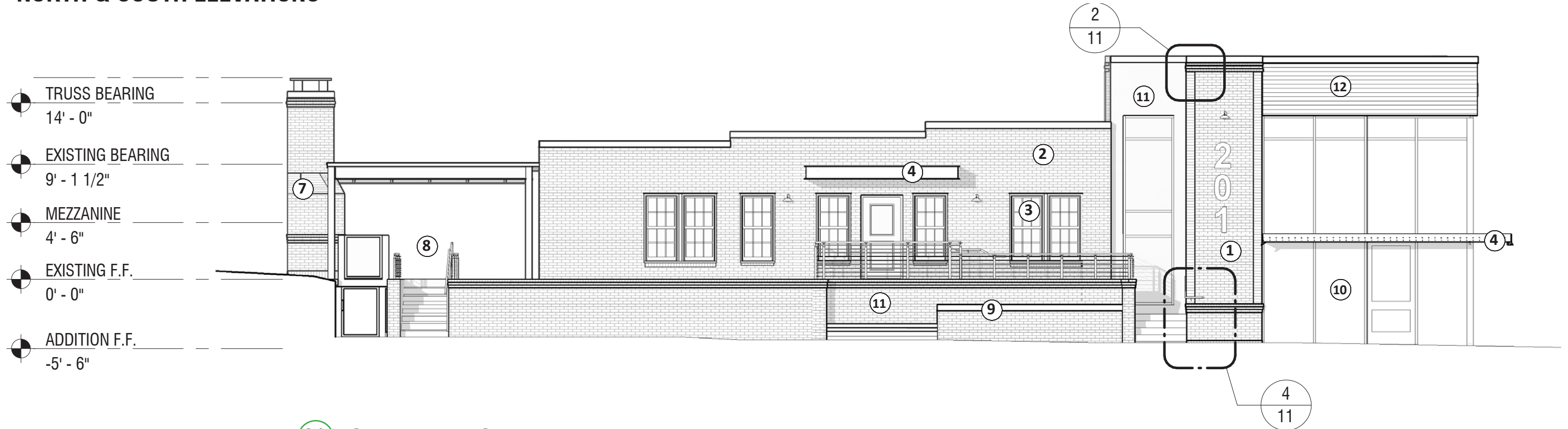
**03 WALL SECTION AT EXISTING TO NEW**



## Department Legend

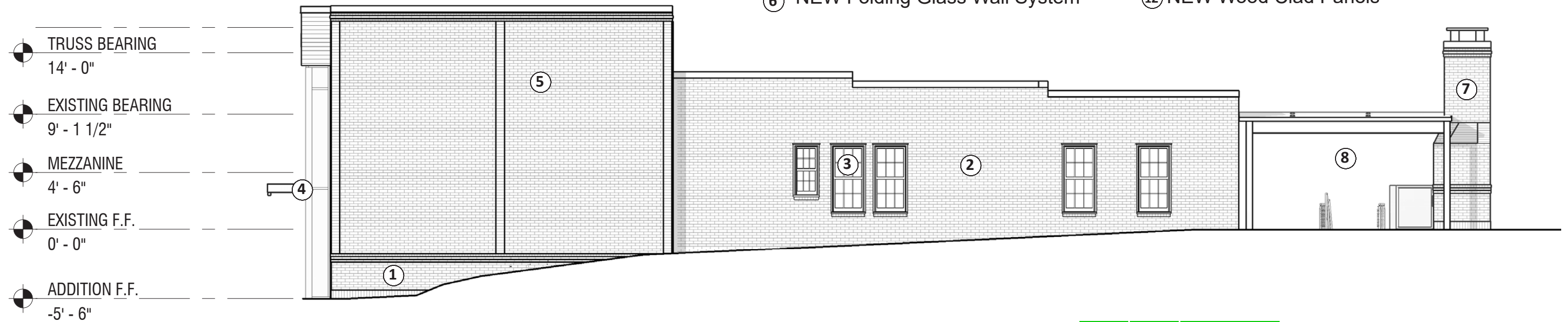
TENANT B

# NORTH & SOUTH ELEVATIONS



**01 NORTH ELEVATION**

- ① NEW Painted Brick
- ② EXISTING Painted Brick
- ③ EXISTING Window to be replaced
- ④ NEW Canopy
- ⑤ NEW Planter Wall Feature
- ⑥ NEW Folding Glass Wall System
- ⑦ NEW Outdoor Fireplace
- ⑧ NEW Outdoor Patio
- ⑨ NEW Retaining Wall with Planter
- ⑩ NEW Curtain Wall
- ⑪ NEW Fiber Cement Panels
- ⑫ NEW Wood Clad Panels

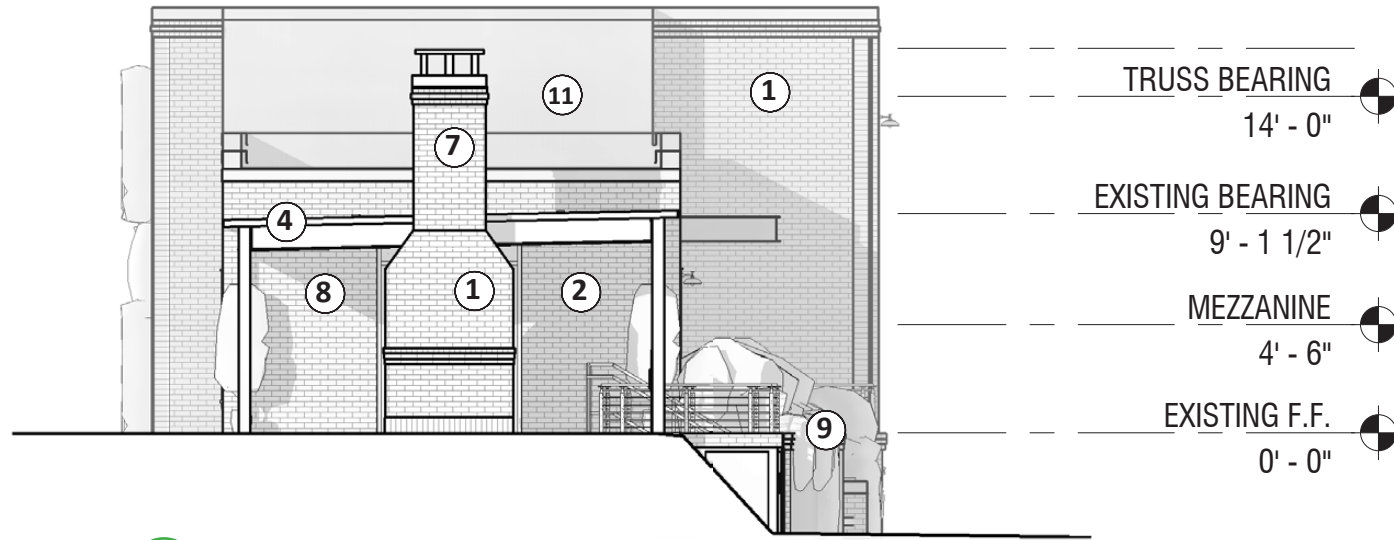


**02 SOUTH ELEVATION**



SCALE: 1/8" = 1'-0"

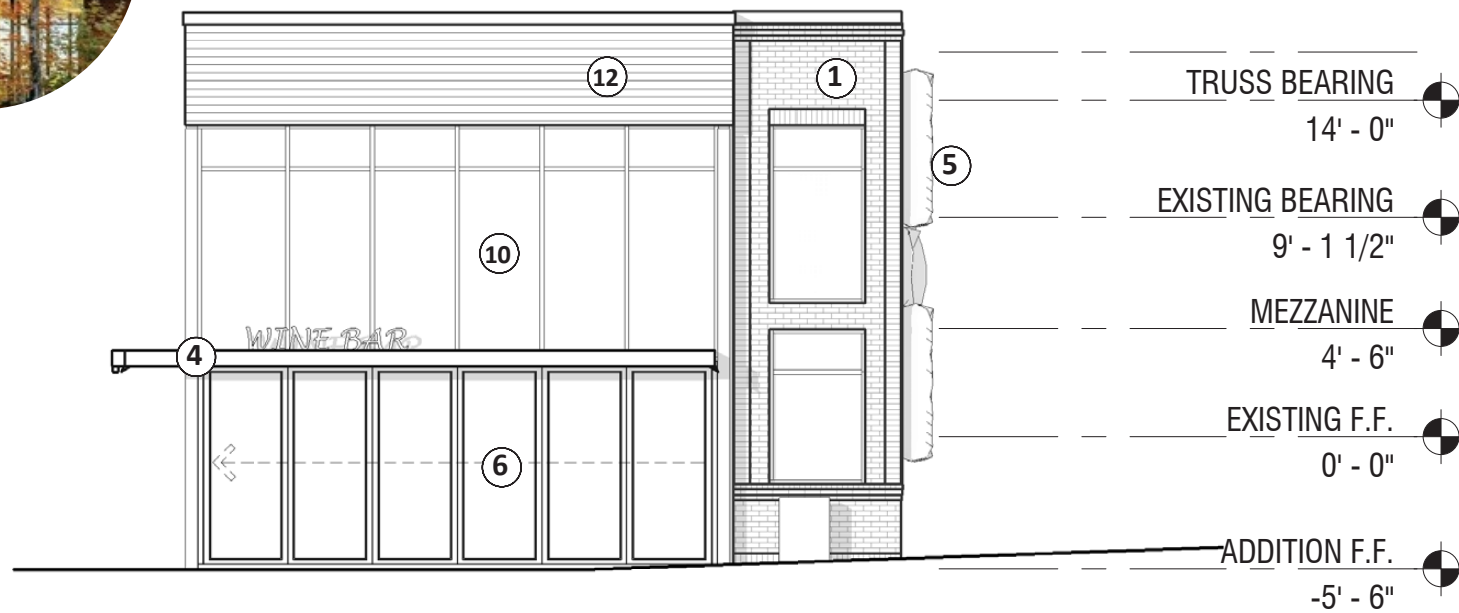
# EAST & WEST ELEVATIONS, MATERIAL SELECTIONS



## MATERIALS

- ① NEW Painted Brick
- ② EXISTING Painted Brick
- ③ EXISTING Window to be replaced
- ④ NEW Canopy
- ⑤ NEW Planter Wall Feature
- ⑥ NEW Folding Glass Wall System
- ⑦ NEW Outdoor Fireplace
- ⑧ NEW Outdoor Patio
- ⑨ NEW Retaining Wall with Planter
- ⑩ NEW Curtain Wall
- ⑪ NEW Fiber Cement Panels
- ⑫ NEW Wood Clad Panels

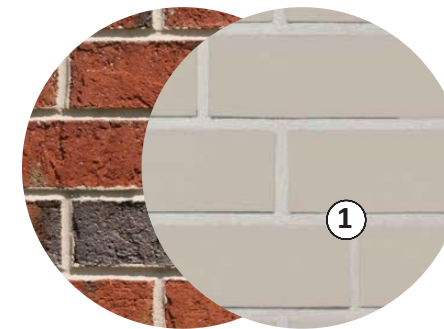
### 01 EAST ELEVATION



### 02 WEST ELEVATION

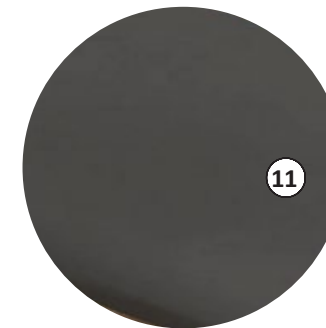


SCALE: 1/8" = 1'-0"



#### RED BRICK, PAINTED

Modular brick selected to match existing, painted - Sherwin Williams 'Proper Gray'  
Basis of design - Triangle Brick 'Old Colony'



#### FIBER CEMENT PANELS

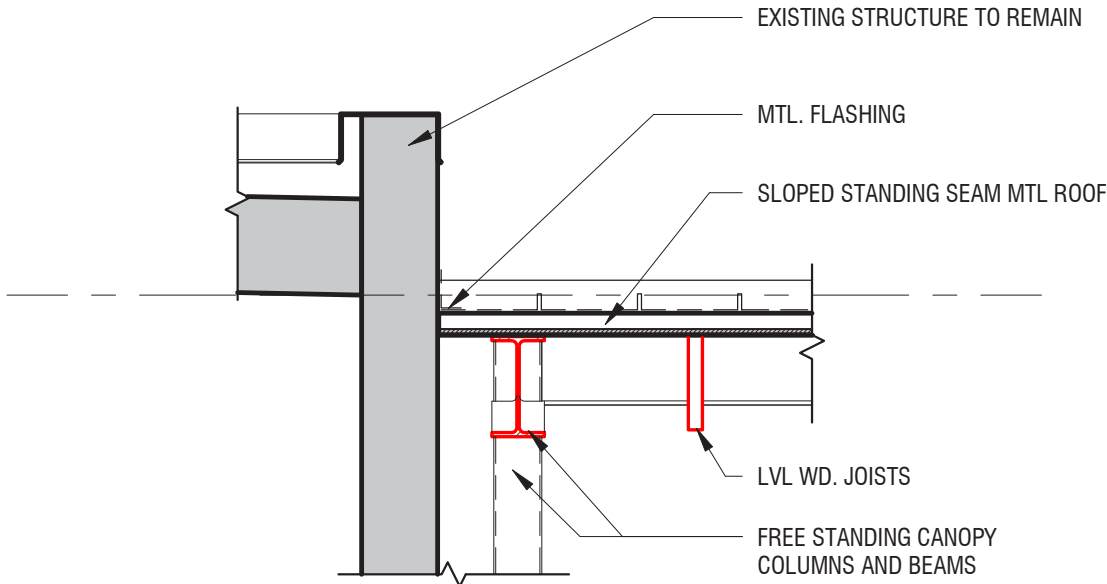
Field painted - Sherwin Williams 'Peppercorn'  
Basis of design - Allura smooth panels



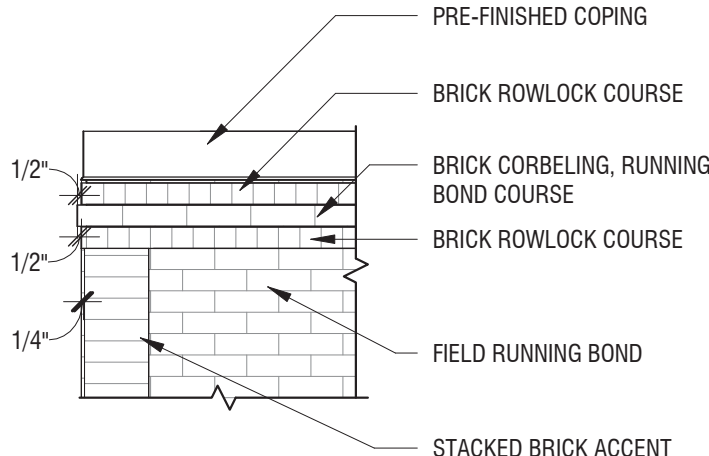
#### WOOD CLAD PANELS

Interior & Exterior Panels  
Basis of design - Parklex Prodema 'Sesame'

# GLAZING PERCENTAGES & DETAILS



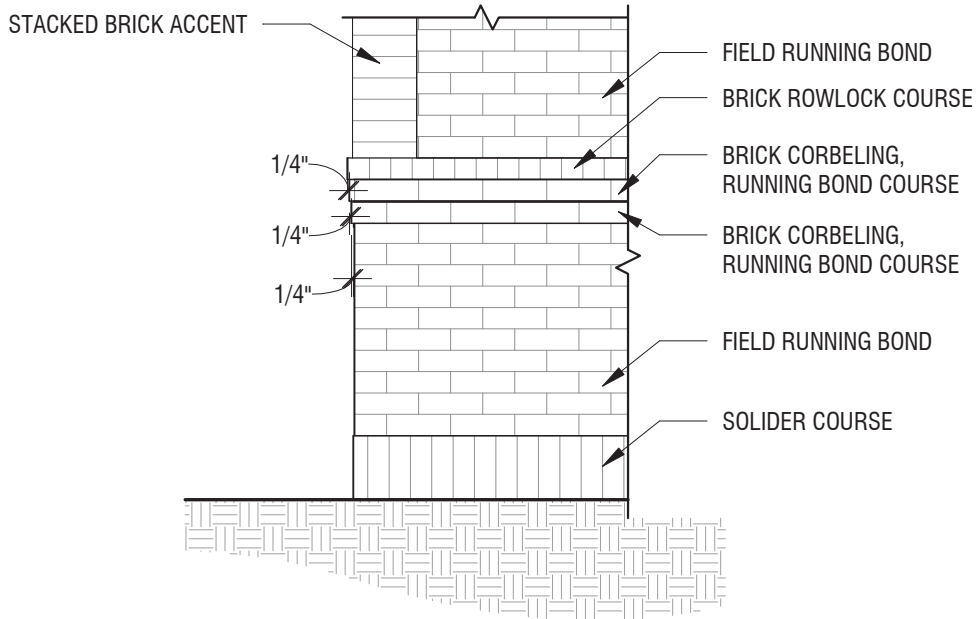
**01 NEW CANOPY RELATION TO EXISTING WALL**



**02 BRICK DETAILING AT CORNICE**



**03 GLAZING PERCENTAGE AT PRIMARY STREET**



**04 BRICK DETAILING AT BASE**

# RENDERINGS - VIEW FROM CHAIRMAN BLAKE LANE



# RENDERINGS - VIEW FROM SOUTH STREET



RENDERINGS - VIEW FROM CHAIRMAN BLAKE LANE



RENDERING - VIEW FROM CHAIRMAN BLAKE LANE



# RENDERINGS - CORNER VIEW OF CHAIRMAN BLAKE & SOUTH STREET

