



**Town of Davidson
Design Review Board Regular Meeting
Town Hall and Community Center
Community Room 120
251 South Street
Wednesday, February 18, 2026 at 5:30 PM**

I. CALL TO ORDER

II. SILENT ROLL CALL

III. CHANGES TO THE AGENDA

IV. REVIEW/APPROVAL OF MINUTES

a. Meeting Minutes

Summary: The Design Review Board will consider approval of January 21, 2026 meeting minutes.

V. OLD BUSINESS

VI. NEW BUSINESS

VII. INFORMAL FYI REVIEW

a. Summit Farms Bakery & Market Buildings – Informal Review

Summary: The Summit Farms Conditional Master Plan, located at 19300 Shearer Rd. (Tax Parcel ID# 00723103, 00723121, 00723115, 00723116) was approved by the Davidson Board of Commissioners on August 22, 2023. The approval includes the construction of +/-109 residential units, along with +/-62,000 SF of commercial square footage featuring a roastery, gastropub, market, bakery, and a 40-room inn. Additionally, the plan proposes a working farm at the heart of the development. The Design Review Board will review plans for two commercial buildings: a bakery (Building C) and market (Building D).

VIII. ADJOURN



**Design Review Board
Meeting Minutes
January 21, 2026**

A meeting of the Town of Davidson *Design Review Board* was held in Community Room 120 at Davidson Town Hall, 251 South Street, Davidson, NC 28036.

I. CALL TO ORDER: 5:34 p.m.

II. ROLL CALL AND DETERMINATION OF QUORUM:

Members Present signified by :

<input checked="" type="checkbox"/> Andrew Gale	<input checked="" type="checkbox"/> Bob Jensen	<input type="checkbox"/> Rusty Miller
<input checked="" type="checkbox"/> Tom Gibbs	<input checked="" type="checkbox"/> Erica Kennedy	
<input checked="" type="checkbox"/> Rachel Johnson (Chair)	<input type="checkbox"/> Dave Malushizky	

Town Representatives: Lindsay Laird, Senior Planner and Karen Wolter, Town Attorney

III. CHANGES TO THE AGENDA: N/A

IV. REVIEW/APPROVAL OF THE MINUTES:

a. November 19, 2025, Minutes

Motion to recommend approval of minutes:

- **Motion:** Andrew Gale
- **Second:** Tom Gibbs
- **Vote:** 5-0 (Motion Passed)

V. OLD BUSINESS: N/A

VI. NEW BUSINESS:

a. Summit Farms Roastery & Gastro Pub Buildings – Review & Recommendation

Project architects from Redline Design Group gave an overview of the project and explained how plans have evolved from the previously approved roastery concept. Originally one building, the current plan includes two buildings: a coffee roastery and a gastropub. The roastery building will be located at the corner of Shearer Rd/East Rocky River Rd.

Architectural features include a barn vernacular, “built over time” aesthetic approach with wood board and batten siding, gable roof with eaves, punched opening windows, aluminum storefront and overhead doors. The gastro pub will be located next to the roastery on Shearer Rd. Architectural features will be similar to the roastery and will include a covered seating area and an outdoor stone fireplace.

After discussion, a motion was made to recommend approval of building schematic designs for the two buildings in accordance with the Davidson Planning Ordinance and design conditions noted by staff, with the condition that the applicant consider screening of HVAC units along Shearer Rd with landscaping or materials similar to the buildings.

- **Motion:** Rachel Johnson
- **Second:** Tom Gibbs
- **Vote:** 5-0 (Motion Passed)

VII. INFORMAL PRELIMINARY REVIEWS: N/A

VIII. ADJOURNMENT: The meeting adjourned at 6:03 p.m.

APPROVAL OF MEETING MINUTES:

Date: _____ By: _____



DESIGN REVIEW BOARD: PRELIMINARY STAFF REPORT

Date: February 18, 2026
To: Design Review Board
From: Lindsay Laird, Senior Planner
Re: Summit Farms Bakey & Market Buildings – Preliminary Review

INTRODUCTION

APPLICANT INFO

- **Project:** Summit Farms Conditional Planning Area
- **Location:** 19300 Shearer Rd (Parcel IDs 00723103, 00723121, 00723115, & 00723116)
- **Applicant:** Summit Farms, LLC
- **Designer:** Redline Design Group
- **Planning Area:** Conditional (Underlying zoning is Neighborhood Services Overlay District)

PROJECT DESCRIPTION

The Summit Farms Conditional Master Plan, located at 19300 Shearer Rd. (Tax Parcel ID# 00723103, 00723121, 00723115, 00723116) was approved by the Town of Davidson Board of Commissioners on August 22, 2023. The approval includes the construction of +/-109 residential units, along with +/-62,000 SF of commercial square footage featuring a roastery, gastropub, market, bakery, and a 40-room inn. Additionally, the plan proposes a working farm at the heart of the development and various hardscape and alternative surface pathways linking to and connecting throughout the site. The approved master plan is available on the development project website linked under “Resources & Attachments” below.

The Design Review Board recommended approval of building schematic designs for a (A) roastery building and (B) gastro pub in January 2026. The project team is presenting two new buildings at the February 2026 DRB meeting for informal feedback: (C) a bakery and (D) a market building.

A. Roastery Building (Formal Review & Recommendation 1/21/2026)



B. Gastro Pub (Formal Review & Recommendation 1/21/2026)



C. Bakery (Preliminary Review 2/18/2026)

Architectural features of the bakery building include a barn vernacular, “built over time” aesthetic approach with wood siding, a gable roof with eaves, and punched opening windows.



D. Market (Preliminary Review 2/18/2026)

Architectural features of the market building include a barn vernacular, “built over time” aesthetic approach with wood siding, a gable roof with eaves, and an open breezeway between the main building and an adjacent bookstore.



Below is a summary of planning and development standards related to this proposal. The Design Review Board should provide feedback on items in *red*.

DAVIDSON PLANNING ORDINANCE

Conditional Planning Area

- The Conditional Planning Area process is an option for developers/property owners to ask for exceptions from the ordinance in a manner that is mutually agreeable to the developer and the Town of Davidson. Design-related project conditions include the following:
 - **Storefront (DPO Table 2-41):** Storefront buildings fronting a pedestrian way or plaza may be one habitable story, so long as they are articulated as two full stories from the exterior.
 - **Primary Building Entry/Orientation:** With Planning Director approval, the primary pedestrian entry to storefront buildings and first floor retail shall not be required to face a fronting, primary street if the entry faces a pedestrian way/public plaza (DPO 4.3.1.A.1 & 4.3.1.B.1).
 - **Porte Cochere:** A porte cochere shall be permitted on the front of Building #3/Inn in the configuration shown along Public Street A (DPO 4.3.1.A.5).
 - **Summit Coffee/Corner Building:** The commercial buildings at the southeastern corner of the Shearer Rd./East Rocky River Rd. intersection (i.e., Building A – Roastery, Building B – Bakery) shall not be subject to the design parameters of DPO 4.4.1.B.3 and shall be in substantial conformance with the form and massing presented, subject to Design Review Board approval.
 - **Entrances from Each Street:** With Planning Director approval, storefront buildings are not required to provide entrances from each street (DPO 4.3.1.A.3).
 - **Façade Transparency:** Storefront buildings are not required to meet minimum transparency requirements listed in DPO Section 4.5.6.B or 4.5.6.J.3.

Planning Area Standards

- **Permitted Uses:** Compliant (Proposed use is permitted in the Conditional Planning Area)

- **2.2.9.C & 2.3.11.C Building Types:** Storefront buildings shall be designed to be consistent with rural vernacular architecture precedents as described in the Rural Area Plan, Action Item 7.6., “... While development should not be made to look old, new commercial construction should be in the style of large house/general stores in massing and architectural detail.”

Determine if the proposed design is consistent with rural vernacular architecture.

- **2.3.11.C Height:** Minimum two-story, maximum three-story height

Confirm that Summit Farms storefront buildings are articulated as two full stories from the exterior.

- **2.3.11.C Setbacks:** Compliant

General Site Design Standards

- **4.3.1.A Pedestrian & Vehicle Access:** Compliant (With Planning Director approval, the primary pedestrian entry to storefront buildings and first floor retail shall not be required to face a fronting, primary street if the entry faces a pedestrian way/public plaza)
- **4.3.1.B Building Location & Orientation:** Compliant
- **4.3.1.C Building Height:** Minimum two-story, maximum three-story height (See condition related to height)

Confirm that Summit Farms storefront buildings are articulated as two full stories from the exterior.

- **4.3.1.D Fences, Hedges & Garden Walls:** Not applicable
- **4.3.1.E Loading/Service Areas, Mechanical Equipment and Utilities:** Compliant (Loading facilities are not located on a primary street-facing façade – Shearer/E Rocky River Rd)
- **4.3.1.F Encroachments:** Not applicable
- **4.3.1.G Development Plans with Multiple Buildings:** Compliant
- **4.3.1.H Public Spaces:** Compliant (Urban open space is fronted by streets/buildings, visible, and easily accessible)

- General Building Design Standards



Figure 1. Precedent Photos of Rural Vernacular, Rural Area Plan Pg. 91

- **4.4.1 General Building Design Standards:** Building design should be complementary with prevalent architectural features of the surrounding neighborhood.

Confirm that proposed building designs are compatible with prevalent architectural features of surrounding buildings.

- **4.4.1.A Building Height:** Minimum two-story, maximum three-story height

Confirm that Summit Farms storefront buildings are articulated as two full stories from the exterior.

- **4.4.1.B Form and Massing:** For large scale buildings, the front façade shall create repetitive bays, or the façade shall be divided into an asymmetrical, yet balanced, composition. The roastery building is not subject to DPO 4.4.1.B.3 per approved conditional planning area standards.

Confirm building facades are divided into an asymmetrical, yet balanced, composition.

- **4.4.1.C Façade Articulation:** All buildings visible from a public street or park/open space shall have: A recognizable base and a recognizable top distinguished from the body of the building. Large buildings shall be modulated through use of repetitive bays.

Confirm that building facades are adequately articulated.

- **4.4.1.D Façade Transparency:** Compliant (Storefront buildings are not required to meet minimum transparency requirements listed in DPO Section 4.5.6.B or 4.5.6.J.3.)

- **4.4.1.E Materials:** Compliant (Proposed materials appear to be complementary to adjacent roastery & gastro pub).

- **4.4.1.F Architectural Details:** Window and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. Additionally, architectural elements shall be used to establish human scale at the street level and main entrances should be emphasized at street level.

Confirm that architectural details are arranged and proportioned so that vertical dimensions dominate horizontal dimensions. Confirm that architectural elements establish human scale at the street/plaza level and that entrances are adequately emphasized.

Specific Building Type Requirements – Storefront Building Type

- **4.5.6.A First Floor Retail Use:** Compliant
- **4.5.6.B Transparency Requirement:** Compliant
- **4.5.6.C First Floor Height:** Compliant
- **4.5.6.D Dominant Vertical Proportions:** Compliant
- **4.5.6.E Use Requirements:** Compliant
- **4.5.6.F Entrances from Each Street:** Compliant (With Planning Director approval, storefront buildings are not required to provide entrances from each street.
- **4.5.6.G Major Entrances Distinguished:** Compliant
- **4.5.6.H Principal Entrance on Street or Public Plaza:** Compliant
- **4.5.6.I Secondary Entrances:** NA
- **4.5.6.J.1 Use Requirements NS Overlay:** Compliant (Commercial/Retail Use)

- **4.5.6.J.2 Roof Form:** Compliant (Shall not be flat)
- **4.5.6.J.3 Transparency NS Overlay:** Compliant (Storefront buildings are not required to meet minimum transparency requirements listed in DPO Section 4.5.6.B or 4.5.6.J.3.)
- **4.5.6.J.4 Materials NS Overlay:** Building design shall use materials consistent with rural vernacular architecture (see figure 1. precedent images from Rural Area Plan below).

Confirm design/materials are consistent with rural vernacular architecture.

RESOURCES & ATTACHMENTS

- [Polaris 3g \(Mecklenburg County GIS Mapping Tool\)](#)
- [Davidson Planning Ordinance \(DPO\)](#)
 - [Section 2. Planning Areas](#)
 - [Section 4. Site & Building Design Standards](#)
- [Summit Farms Development Project Webpage](#)
- [Rural Area Plan](#)



SUMMIT FARMS LANE

ROCKY RIVER ROAD

BLDG C
BAKERY

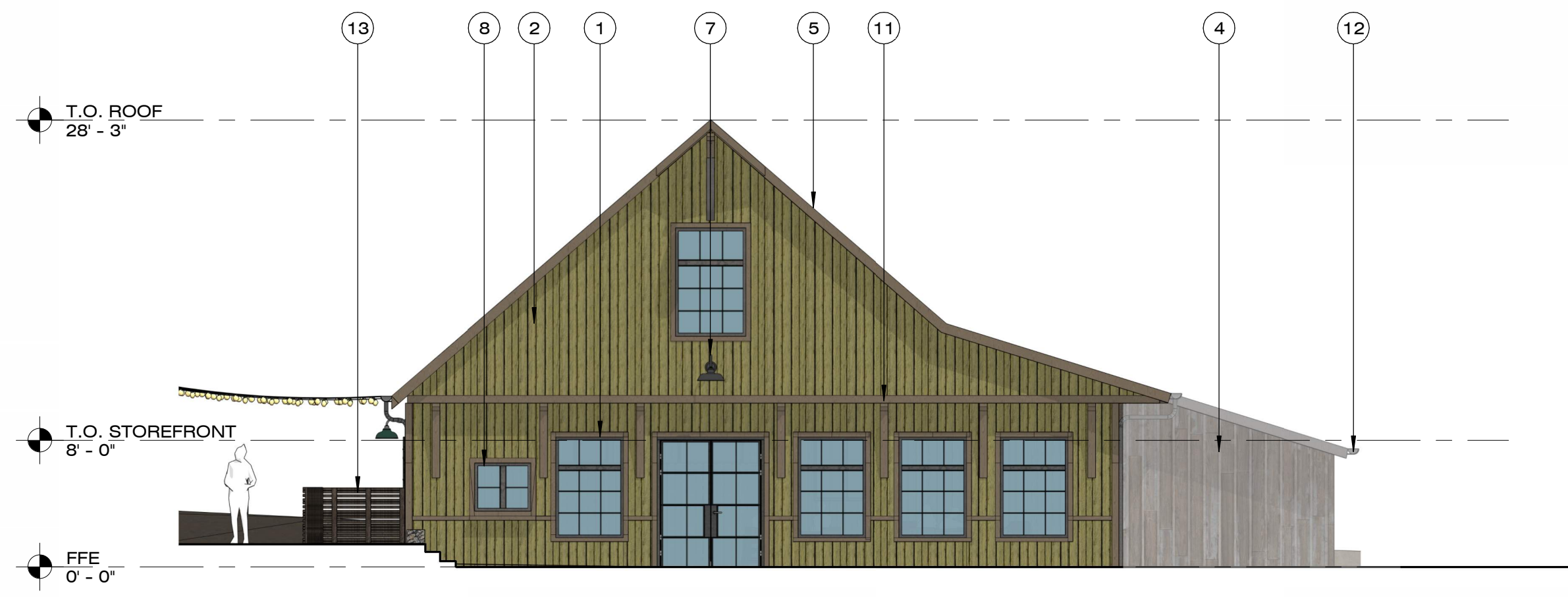
BLDG D
MARKET &
BOOKSTORE

STAGE

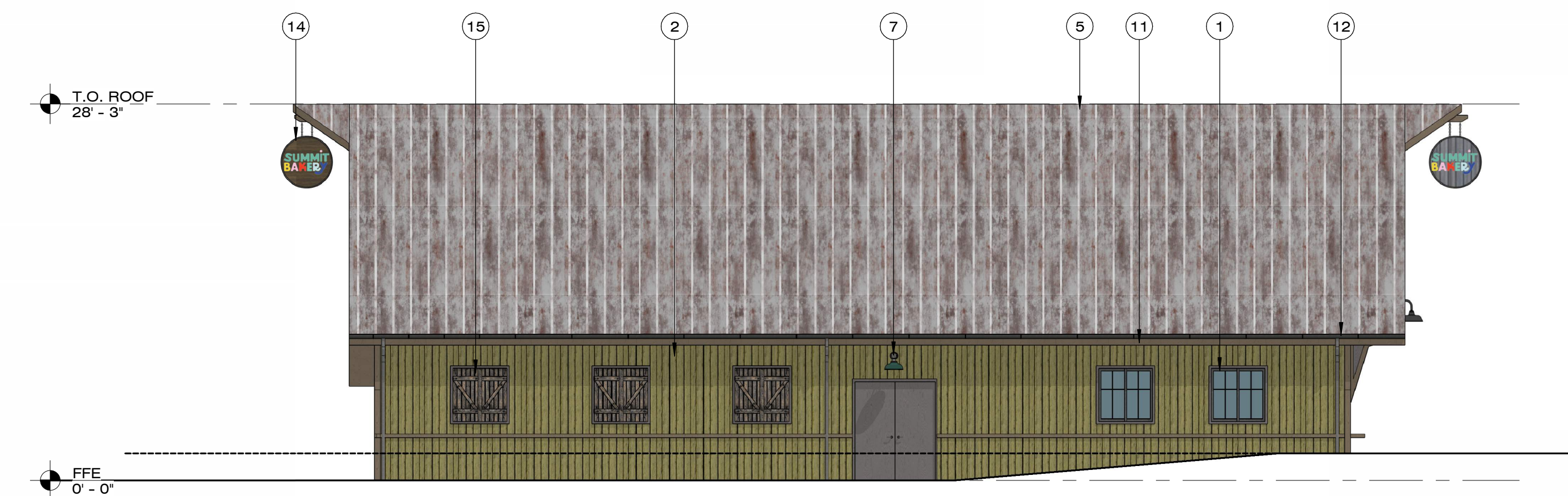
BLDG A
ROASTERY

BLDG B
GASTROPUB

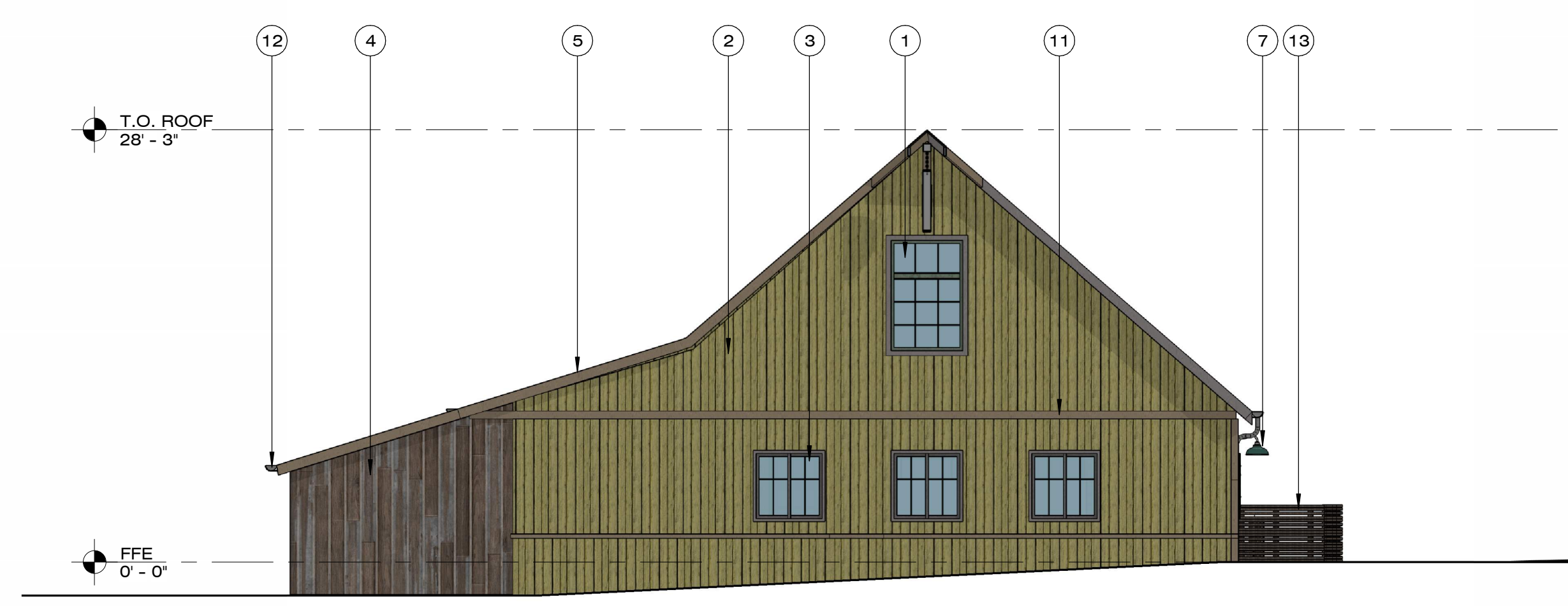
SHEARER ROAD



1 EXTERIOR ELEVATION - PIAZZA
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - SHEARER ROAD
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - SERVICE YARD
SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - SUMMIT WAY
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES	
1	ALUMINUM STOREFRONT SYSTEM, WITH TRANSPARENT GLASS. BASIS OF DESIGN: GRAHAM SR6700. COLOR: DARK BRONZE, TYP.
2	THERMALLY MODIFIED WOOD CLADDING, BOARD & BATTON APPLICATION, WIDE PLANK DIMENSION (8" WIDE NOMINAL), COLOR: JASPER STONE
3	ALUMINUM STOREFRONT SYSTEM, WITH TRANSLUCENT GLASS. BASIS OF DESIGN: GRAHAM SR6700. COLOR: DARK CHARCOAL, TYP.
4	THERMALLY MODIFIED WOOD CLADDING, BOARD & BATTON APPLICATION, WIDE PLANK DIMENSION (6"-8" WIDE NOMINAL), COLOR: TBD
5	STANDING SEAM METAL ROOFING, COLOR: ASH GRAY, TYP.
6	CONCRETE BASE. SEE WALL SECTIONS FOR MORE DETAILS
7	WALL LIGHT, BARN LIGHT ELECTRICAL COMPANY, MODEL BLE-G-WHS, TYP.
8	PICK-UP WINDOW
9	HOLLOW METAL DOOR, PAINTED, COLOR: CHARCOAL
10	ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION
11	PAINTED WOOD TRIM & FASCIA, COLOR: FELTED WOOL
12	PREFINISHED GUTTER & DOWNSPOUT, COLOR: DARK CHARCOAL
13	WOOD SCREENING / RAILING FOR SERVICE ENTRANCE
14	SIGNAGE LOCATION. COORD. FINAL DIMENSIONS TBD
15	SHUTTERED FAUX WINDOWS
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GENERAL ELEVATION NOTES	
1	EJ - INDICATES LOCATION OF MASONRY EXPANSION JOINTS. COORDINATE WITH STRUCTURAL DRAWINGS. COLOR OF EXPANSION JOINT TO MATCH ADJACENT FINISH (INT/EXT).
2	DS - INDICATES LOCATION OF DOWNSPOUT. COORDINATE WITH CIVIL DRAWINGS TO DETERMINE WHETHER OR NOT THE DOWNSPOUTS DUMP OUT ONTO GRADE OR TIE INTO THE STORM SEWER SYSTEM.
3	ALL PARAPET COPING SHALL BE KYNAR 500 FINISH ON 24 GA GALVANIZED STEEL. COLOR SHALL BE PER THE FINISH SCHEDULE. COPING DETAIL EQUAL TO PAC-CLAD "PAC-CONTINUOUS CLEAT COPING" W/ INTEGRAL SPLICE PLATES.
4	ALL DOWNSPOUTS SHALL BE BOX CONSTRUCTION WITH KYNAR 500 FINISH ON 24GA GALVANIZED STEEL. COLOR SHALL BE PER THE FINISH SCHEDULE. PROVIDE PVC ROUND-TO-SQUARE TRANSITION AT GRADE TO STORM SYSTEM SET 4" ABOVE GRADE.
5	GENERAL CONTRACTOR TO ENSURE THAT OPENINGS WITHIN EXTERIOR WALLS ARE PROPERLY TAPED/FLASHED TO PREVENT WATER INFILTRATION INTO THE BUILDING.
6	UNO, ALL EXTERIOR GLAZING SHALL BE CONSIDERED TEMPERED.
7	UNO, ALL EXTERIOR STOREFRONT/CURTAIN WALL SYSTEMS SHALL HAVE A CLEAR ANODIZED FINISH. CAULK JOINTS ALONG THESE LOCATIONS SHALL BE A MEDIUM GREY COLOR TO MATCH THE STOREFRONT/CURTAIN WALL SYSTEM. PROVIDE SAMPLES.
8	GC SHALL ENSURE THAT THE ENTIRE STRUCTURE IS "DRIED-IN" PRIOR TO INSTALLATION OF INSULATION AND DRYWALL.
9	ALL EXTERIOR EXPOSED PAINTED STEEL SHALL RECEIVE INDUSTRIAL GRADE URETHANE ALKYD ENAMEL (SEMI-GLOSS). COLOR SHALL BE PER EXT. FINISH SCHEDULE.
10	GC SHALL ENSURE POSITIVE SLOPE AWAY FROM BUILDING PERIMETER FOR PROPER DRAINAGE. GC SHALL TAKE MEASURES TO PROTECT NEW EXTERIOR MATERIALS FROM DIRT MIGRATION DURING RAIN. @ PERIMETER GETAWAY, DRAINAGE MATTING, ETC.)
11	EXISTING DEMOLISHED PENETRATIONS IN EXISTING EXTERIOR MASONRY THAT ARE NO LARGER THAN 1/2" DIAMETER TO BE INFILLED WITH MORTAR. PENETRATIONS LARGER THAN 1/2" TO BE REPLACE WITH TOOTHED-IN BRICK, TYP.
12	GC SHALL PROVIDE THOROUGH FINAL CLEANING OF ALL EXTERNAL SURFACES (INCLUDING ROOF) PRIOR TO C.O.
13	GC TO PROVIDE BATTERY BACK-UP EMERGENCY EGRESS LIGHTING AT ALL DOOR LOCATIONS SHOWN, SEE ELEC. DWGS.

EXT. ELEVATIONS LEGEND	
[Pattern]	EXPOSED CONCRETE WALL -
[Pattern]	EIFS -
[Pattern]	CURTAIN WALL / STOREFRONT
[Pattern]	1" INSULATED SPANDEL PANEL - GLASS / METAL
[Pattern]	ACM 1 RAIN SCREEN SYSTEM (ALUM. COMPOSITE METAL PANELS)
[Pattern]	ACM 2 RAIN SCREEN SYSTEM (ALUM. COMPOSITE METAL PANELS)
[Pattern]	SIMULATED WOOD GRAIN RAIN SCREEN SYSTEM (ACM / PARKLEX / PROCEMA)
[Pattern]	ARCHITECTURAL LOUVER
[Pattern]	ARCHITECTURAL METAL PANEL (CORRUGATED)
[Pattern]	BRICK VENEER
[Pattern]	SMOOTH FACE CMU
[Pattern]	SPLIT FACE CMU
[Symbol]	EMERGENCY OUTLET FOR EMERGENCY ROOF DRAINS - PROVIDE FLAPPER COVER & BIRD SCREEN. SILVER METALLIC FINISH U.N.O.
[Symbol]	ALUMINUM SUNSHADE LOUVERS
[Symbol]	EXP-01 EXPANSION JOINT

REDLINE

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Suite 110
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704.377.2990

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SUMMIT FARMS

- BAKERY

DAVIDSON, NC

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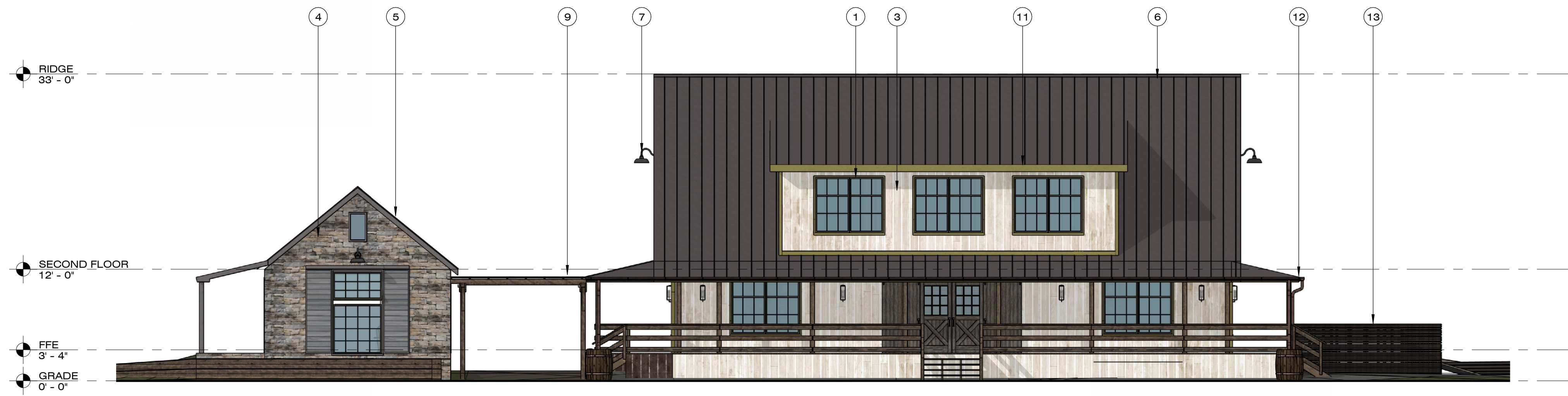
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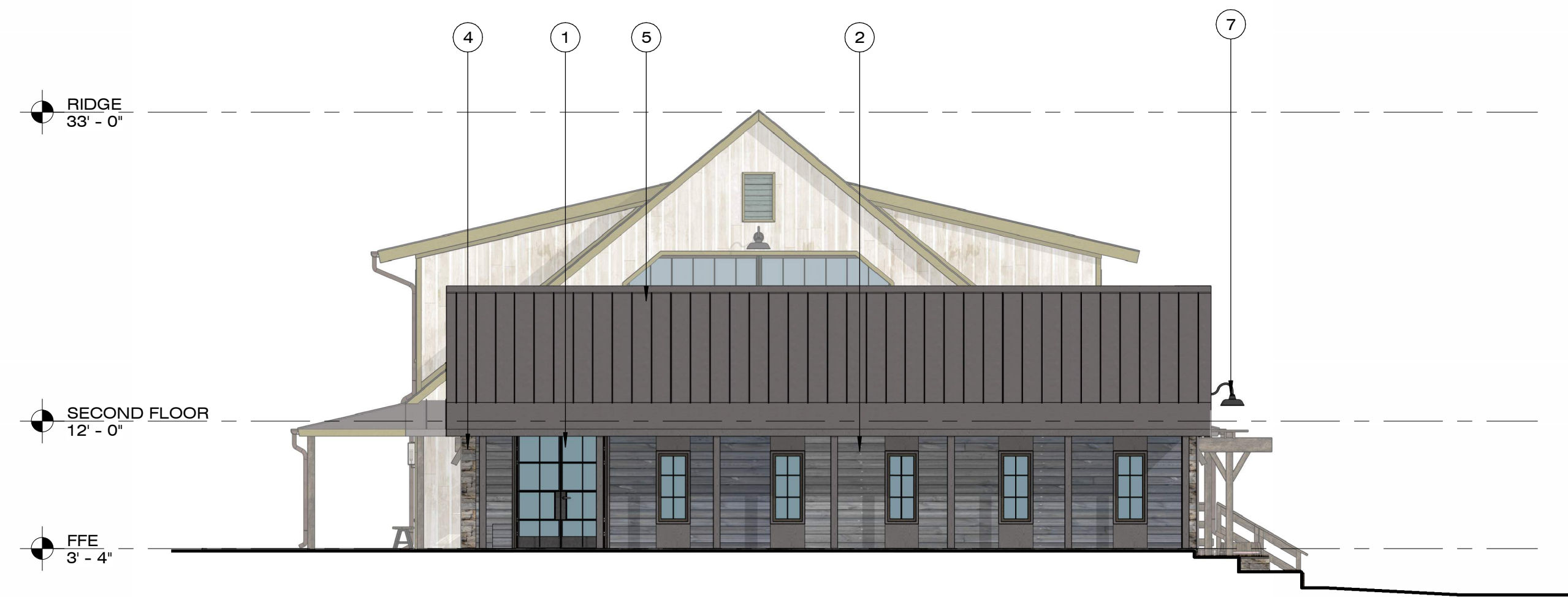
EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

SHEET # **A6.0**



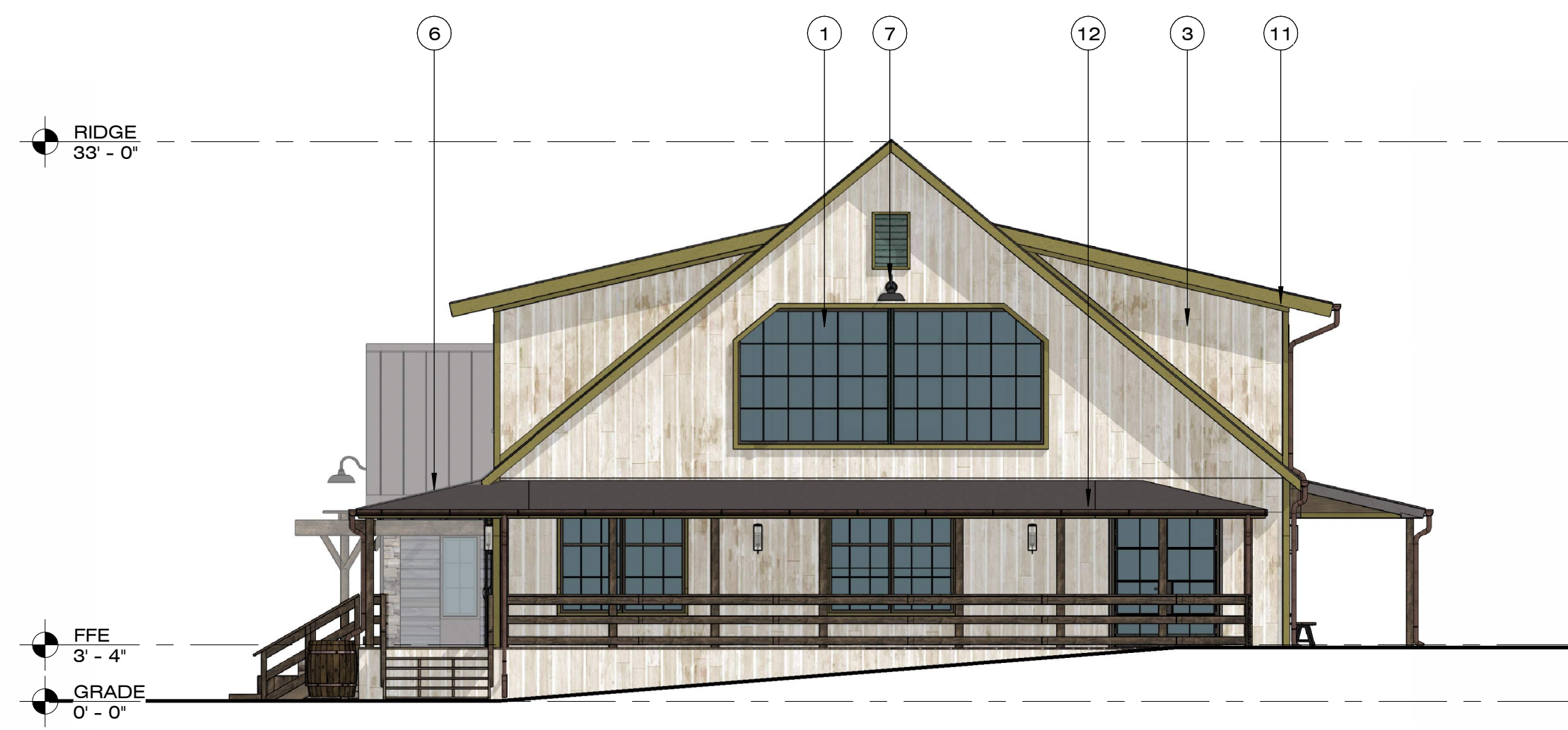
1 EXTERIOR ELEVATION BUILDING D - SUMMIT WAY
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION BUILDING D - PLAZA (LEFT)
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION BUILDING D - SHEARER RD. (REAR)
SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION BUILDING D - PIAZZA (RIGHT)
SCALE: 1/8" = 1'-0"

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3	THERMALLY MODIFIED WOOD CLADDING, VERTICAL PLANK APPLICATION. COLOR: SHOJI WHITE
4	TENNESSEE SANDSTONE VENEER OVER CMU
5	STANDING SEAM METAL ROOFING. COLOR: ASH GRAY, TYP.
6	STANDING SEAM METAL ROOFING. COLOR: DARK BRONZE, TYP.
7	WALL LIGHT. BARN LIGHT ELECTRICAL COMPANY.
8	PICK-UP WINDOW
9	WOOD PERGOLA STRUCTURE
10	-
11	PAINTED WOOD TRIM & FASCIA. COLOR: RURAL GREEN
12	PREFINISHED GUTTER & DOWNSPOUT. COLOR: DARK CHARCOAL
13	WOOD SCREENING / RAILING FOR MECHANICAL EQUIPMENT
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[Pattern]	ARCHITECTURAL METAL PANEL (CORRUGATED)
[Pattern]	BRICK VENEER
[Pattern]	SMOOTH FACE CMU
[Pattern]	SPLIT FACE CMU
[Symbol]	EMERGENCY OUTLET FOR EMERGENCY ROOF DRAINS - PROVIDE FLAPPER COVER & BIRD SCREEN. SILVER METALLIC FINISH U.N.O.
[Symbol]	ALUMINUM SUNSHADE LOUVERS
[Symbol]	EXP-01 EXPANSION JOINT

925 Tuckaseegee Rd.
Suite 110
Charlotte, NC 28208
704.377.2990
www.redlinedg.com

SUMMIT FARMS
MARKET & BOOKSTORE
PROJECT ADDRESS
CITY, STATE 00000

#	DESCRIPTION	DATE
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ARCH. PROJECT # CLT
25-109

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

SHEET # **A6.0**



SW 9171

Felted Wool

SW 9133

Jasper Stone



SUMMIT FARMS
Bakery Color Update

REDLINE

Finish Coordination
02/03/2026

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Page 15 of 24

SW 6418

Rural Green

August 2022 Color of the Month

SW 7042

Shoji White

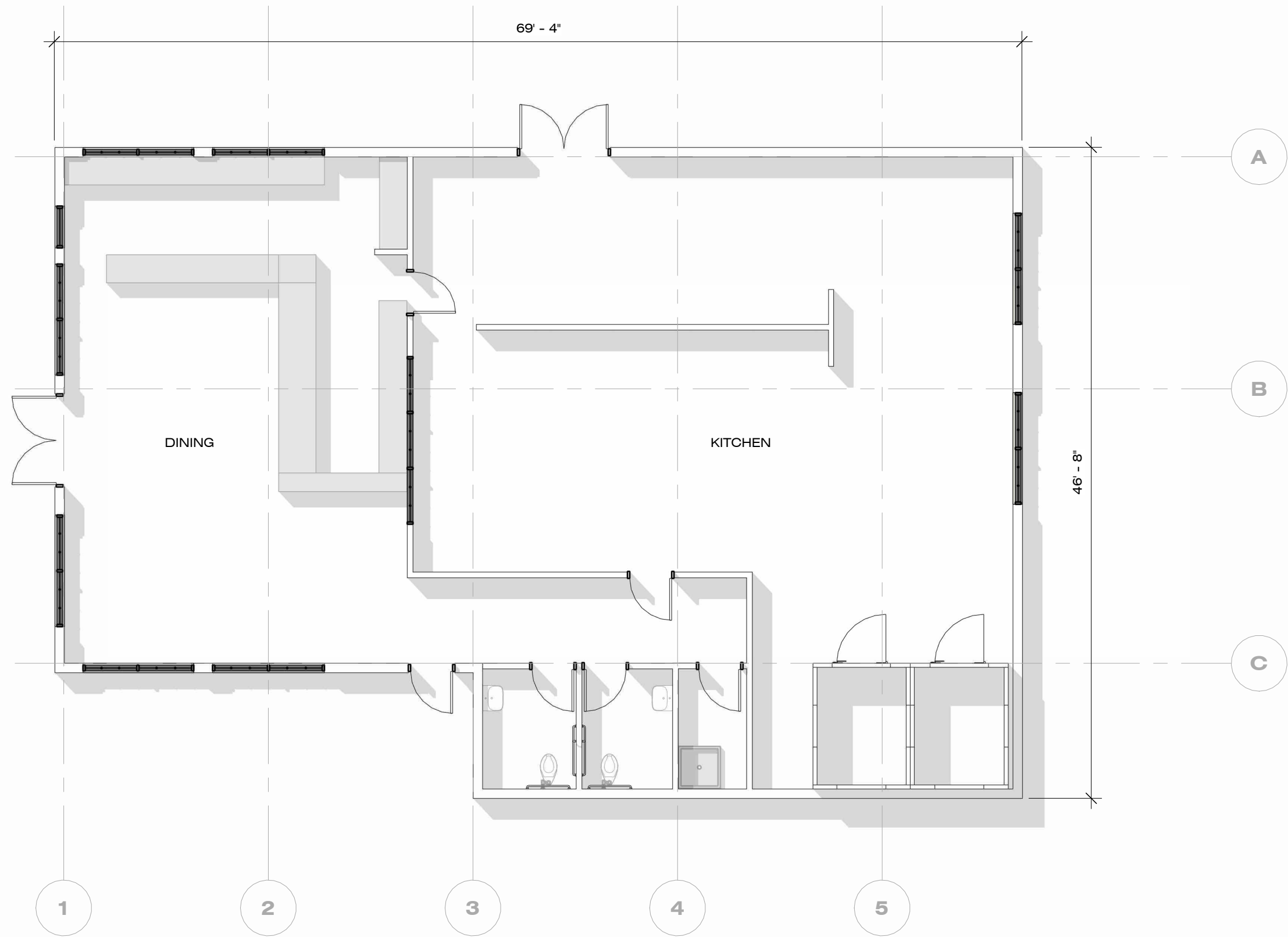


SUMMIT FARMS
Market Color Update

REDLINE

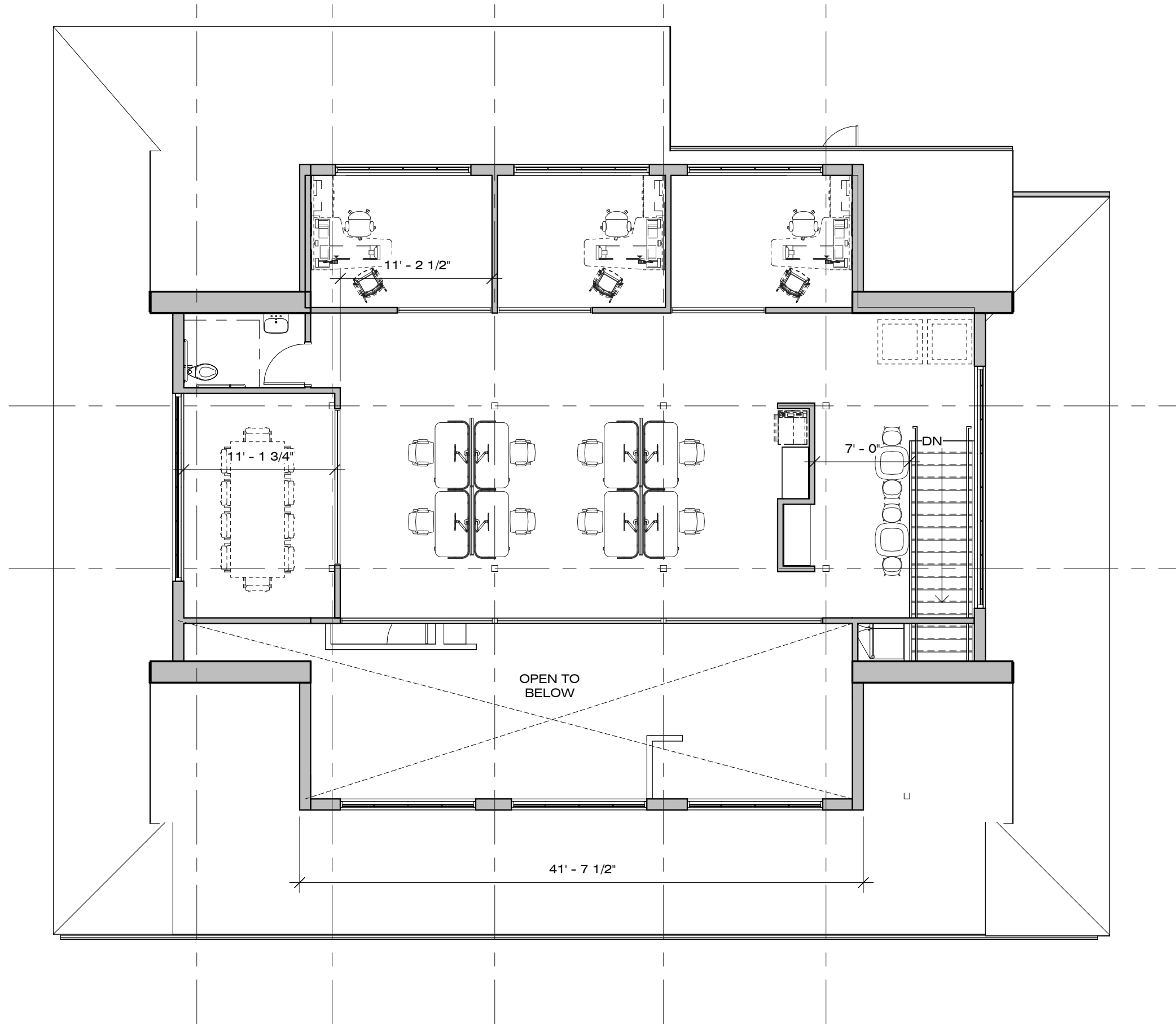
Finish Coordination
02/03/2026

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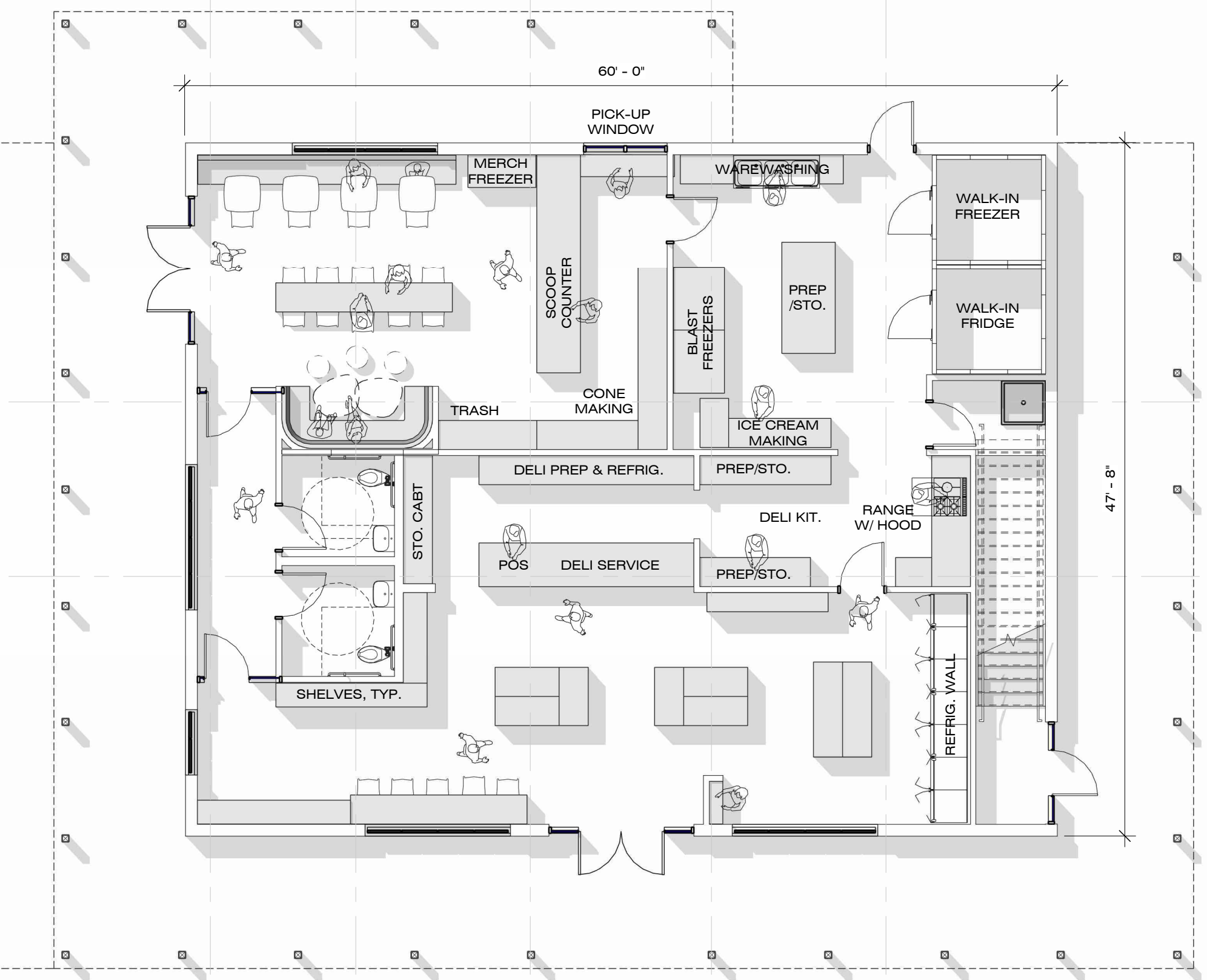
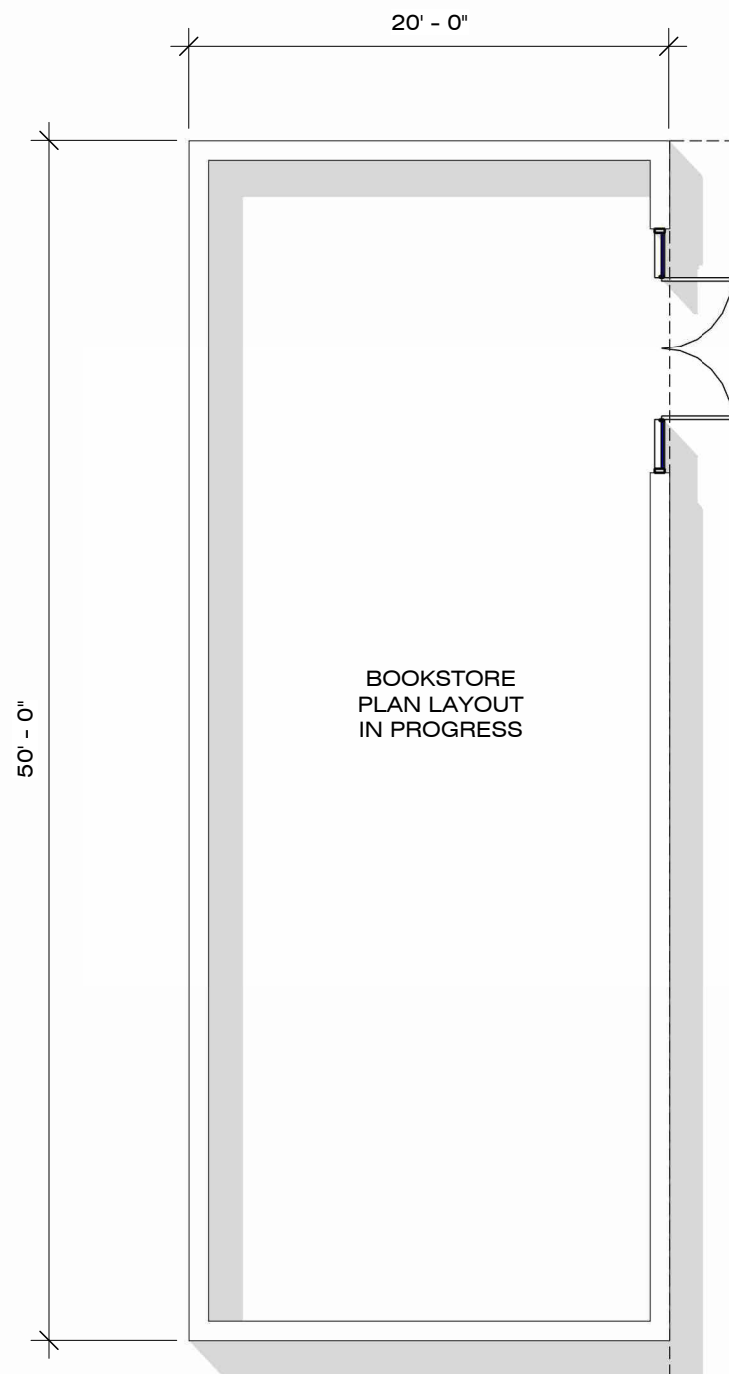
SUMMIT FARMS
Bakery Floor Plan

Plan Coordination
1/8" = 1'-0"



SUMMIT FARMS
Bakery Floor Plan

2nd Floor Office Plan
1/8" = 1'-0"



SUMMIT FARMS
Market First Floor Plan

Plan Coordination
1/8" = 1'-0"



ENVIRONMENTALLY SMART COLORS - DESIGNED ENERGY EFFICIENT



SIERRA TAN



MEDIUM BRONZE



MANSARD BROWN



DARK BRONZE



MATTE BLACK



TERRA COTTA



SURREY BEIGE



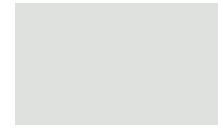
SANDSTONE



BONE WHITE



STONE WHITE



REGAL WHITE



COLONIAL RED



ASH GRAY



DOVE GRAY



SLATE GRAY



CHARCOAL GRAY



SLATE BLUE



BURGUNDY



PATINA GREEN

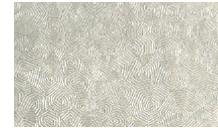


HEMLOCK GREEN



EVERGREEN

NON-PAINTED

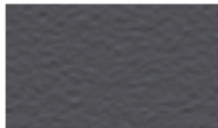


ACRYLIC-COATED GALVALUME*

TEXTURED COLORS - PREMIUM UPCHARGE



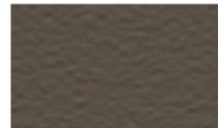
TLG BLACK



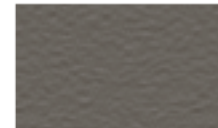
TLG CHARCOAL GRAY



TLG DARK BRONZE



TLG MEDIUM BRONZE



TLG MOONSTONE™

METALLIC / PREMIUM COLORS - PREMIUM UPCHARGE



SILVER



COPPER



CHAMPAGNE



PRE-WEATHERED GALVALUME*



HARTFORD GREEN



REGAL RED



REGAL BLUE

* CONTACT YOUR REPRESENTATIVE FOR EXACT COLOR CHIP SAMPLE



LOCATIONS

Stanley, NC

Conway, SC

Pinellas Park, FL

Jackson, MS

Fayetteville, NC

Gallatin, TN

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Faster. Smarter. Better. Period.



Colors shown are matched as accurately as possible, but may vary slightly from finished product. These rich and vibrant colors are produced with either Kynar® 500 or Hylar® 5000 resins, which provide superior color retention, and allow us to offer non-prorated coating warranties for most applications. Coating warranty varies for Regal Red, Matte Black, Copper, Silver, Champagne, and Pre-Weathered Galvalume. Metallics are warranted for chip, crack, and peel only. Please contact your representative for more information.

STOCK AVAILABILITY MATRIX	LEED V4.1	ISR	EMI	3 YR. SRI	SRI	GALVALUME		ALUMINUM			
						24 GA.	22 GA.	.032	.040	.050	.063
Acrylic Coated Galvalume*	L	0.67	0.14	N/A	56	●	●				
Ash Gray		0.32	0.83	31	31	●		●	●		
Bone White	L	0.65	0.83	77	77	●		●	●	●	●
Burgundy		0.31	0.86	29	32	●					
Champagne		0.32	0.83	31	31	●					
Charcoal Gray		0.25	0.83	22	22	●	●	●	●		
Colonial Red		0.25	0.83	22	22	●		●			
Copper	L	0.35	0.75	32	32	●		●			
Dark Bronze		0.25	0.83	22	22	●	●	●	●	●	●
Dove Gray	L	0.35	0.83	35	35	●	●	●	●		
Evergreen		0.25	0.83	22	22	●		●	●		
Hartford Green		0.25	0.83	22	22	●		●	●	●	
Hemlock Green		0.25	0.83	22	22	●					
Mansard Brown		0.25	0.83	22	22	●	●	●	●	●	
Matte Black		0.25	0.83	22	22	●	●	●	●	●	●
Medium Bronze		0.25	0.83	22	22	●	●	●	●	●	●
Patina Green		0.32	0.83	31	31	●					
Pre-weathered Galvalume*		0.24	0.83	19	21	●		●			
Regal Blue		0.25	0.83	22	22	●					
Regal Red	L	0.35	0.83	35	35	●					
Regal White	L	0.65	0.83	77	77	●	●	●	●	●	●
Sandstone	L	0.35	0.83	35	35	●		●	●		
Sierra Tan		0.31	0.87	28	31	●		●	●		
Silver	L	0.54	0.77	55	60	●		●	●	●	
Slate Blue		0.25	0.83	22	22	●		●			
Slate Gray	L	0.35	0.83	35	35	●	●	●	●	●	
Stone White	L	0.55	0.83	59	63	●		●	●		
Surrey Beige	L	0.35	0.75	32	32	●		●			
Terra Cotta	L	0.35	0.83	35	35	●		●	●		
TLG Black		0.25	0.83	22	22	●					
TLG Charcoal Gray		0.25	0.83	22	22	●					
TLG Dark Bronze		0.25	0.83	22	22	●					
TLG Medium Bronze		0.25	0.83	22	22	●					
TLG Moonstone™		0.32	0.83	31	31	●					

* IF DESIRED COLOR IS NOT LISTED ON MATRIX PLEASE CONTACT METAL ROOFING SYSTEMS FOR AVAILABILITY

NOTES
<ul style="list-style-type: none"> All metal is painted with a .20 mil primer and .70-.90 mil Top Coat and 70% Kynar® 500 or Hylar® 5000. The reverse side has a .20 primer and .30-.40 backer coating. 22-gauge steel available upon request. For low slope roofing to meet LEED V4.1 requirements, the initial SRI must be ≥ 82 OR the 3-year SRI must be ≥ 64. For steep slope roofing to meet LEED V4.1 requirements, the initial SRI for 75% of the roof must be ≥ 39 OR the 3-year SRI must be ≥ 32. Low slope roofing is defined as ≤ 2:12. Steep slope roofing is defined as > 2:12.

KEY	
●	Stocked Item
L	LEED V4.1 Compliant
ISR	Initial Solar Reflectance
EMI	Emissivity
SRI	Solar Reflectance Index

Oil canning is an aesthetic issue and is an inherent part of light gauge cold formed metal products. By using coil that has been processed properly, designing for thermal movement, following stringent specifications for installation, and proper handling, most oil canning can be eliminated. Oil canning is not grounds for coil/panel rejection.

Galvalume® is a registered trademark of BIEC. Hylar® 5000 is a registered trademark of Solvay Solexis, Inc. Kynar® 500 is a registered trademark of Atofina, Inc.

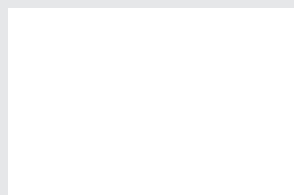


Graham Architectural Products Color Selection Chart

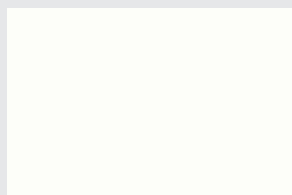
Below is a selection of 12 colors representing those that are frequently specified.

THESE COLORS ARE ONLY APPROXIMATE

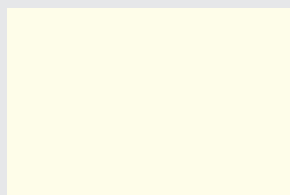
Actual color selection should be made using color chips. Please note that additional colors or project specific colors are available. Contact your sales representative or project manager to order actual color samples on aluminum chips for final selection.



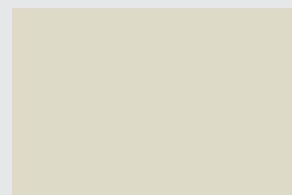
Graham White



Bone White



Colonial White



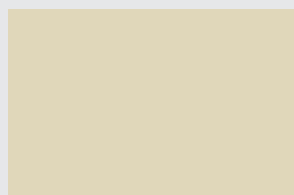
Sandstone

	<u>PPG code</u>	<u>GAP code</u>
AAMA 2603	UC96873	WH
AAMA 2604	UCFX10290	UG
AAMA 2605	UC72638	AJ

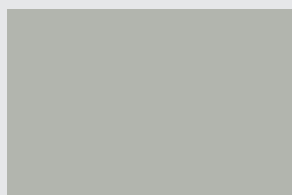
	<u>PPG code</u>	<u>GAP code</u>
	UC71726	PEP
	UCFX10004	FE
	UC43350	LC

	<u>PPG code</u>	<u>GAP code</u>
	UC50369	CW
	UCFX10008	UQ
	UC54983	JA

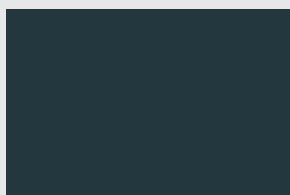
	<u>PPG code</u>	<u>GAP code</u>
	UC50386	CU
	UCFX10082	UR
	UC45392	JV



Sahara Sand



Light Seawolf



Charcoal Gray



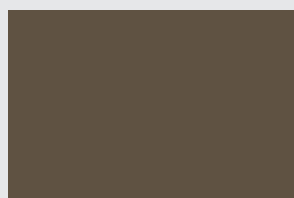
Hartford Green

	<u>PPG code</u>	<u>GAP code</u>
AAMA 2603	UC107466	SA
AAMA 2604	UCFX10292	UH
AAMA 2605	UC72861	PY

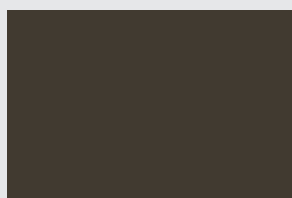
	<u>PPG code</u>	<u>GAP code</u>
	UC58943	AIT
	UCFX10081	AIU
	UC45074	HO

	<u>PPG code</u>	<u>GAP code</u>
	UC97252	CH
	UCFX10080	AIV
	UC54271	XU

	<u>PPG code</u>	<u>GAP code</u>
	UC54850	GL
	UCFX10055	UL
	UC51733	JF



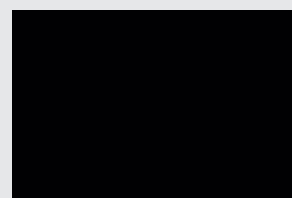
Antique Bronze



Graham Bronze



River Rouge Red



Black

	<u>PPG code</u>	<u>GAP code</u>
AAMA 2603	UC96895	DZ
AAMA 2604	UCFX10293	UO
AAMA 2605	UC72688	DL

	<u>PPG code</u>	<u>GAP code</u>
	UC96872	BW
	UCFX10291	UF
	UC72169	DA

	<u>PPG code</u>	<u>GAP code</u>
	UC53979	RU
	UCFX10147	UK
	UC52006	RJ

	<u>PPG code</u>	<u>GAP code</u>
	UC97235	BL
	UCFX10053	UP
	UC40577	HG

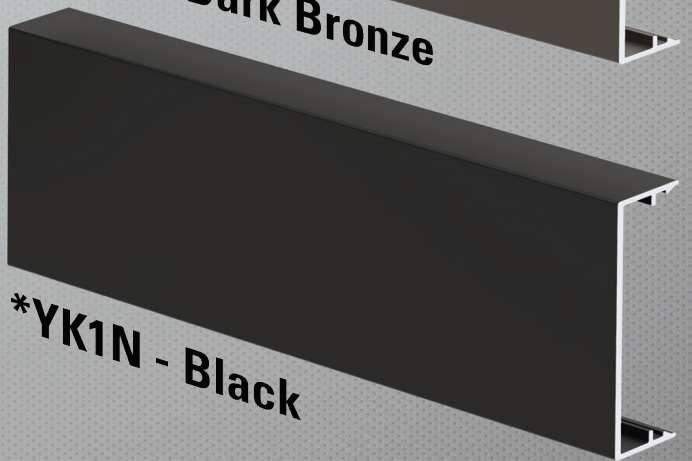
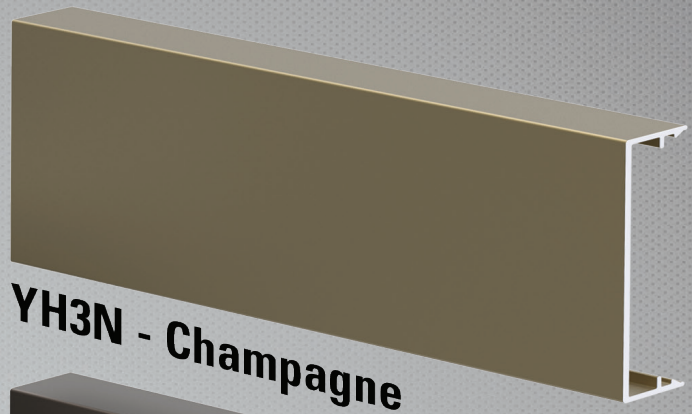
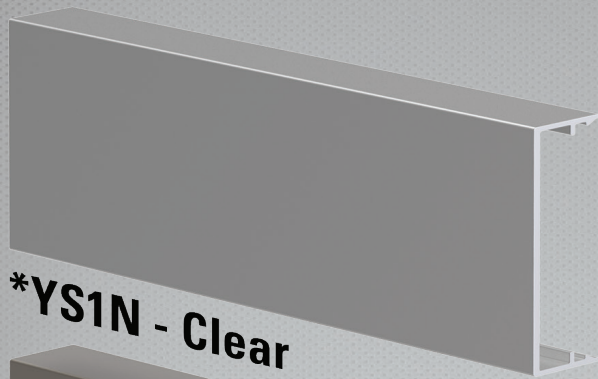
AAMA 2603 (e.g. Duracron™)
 AAMA 2604 (e.g. Acrynar™ / Envirocron™ powder)
 AAMA 2605 (e.g. Duranar™ / Corafllon™ powder)

Duracron™, Acrynar™, Duranar™, Envirocron™, and Clorafllon™ are registered trademarks of PPG Industries.



Anodized Plus®

YKK AP Anodized Finishes



*** Normally in stock for quick delivery. Consult your local YKK AP Branch or Center for availability.**

The samples shown are reproduced as closely as possible to the actual colors on the system and is only used as a guide. For actual anodized aluminum samples, contact your local YKK AP sales rep at 1-800-955-9551 or at www.ykkap.com.



Entrances | Storefront | Curtain Wall | Window Wall | Balcony Doors | Windows | Sun Control

COMPARISON OF ANODIZED FINISH STANDARDS

TEST		PERFORMANCE			ADVANTAGE	COMMENTS
		AAMA 612	AAMA 611			
			CLASS I	CLASS II		
FINISH	Coating Thickness	0.7 mils (18 microns)	0.7 mils (18 microns)	0.4 mils (18 microns)	None	The overall thickness of the coating helps to protect the integrity of the finish and the aluminum itself.
	Color Uniformity	Samples shall not differ more than 5 Delta E	Within Established Color Range		None	Request manufacturer's color/range samples to view anticipated variances in color.
STRENGTH	Hardness	Minimum allowable hardness is Grade 3H	Test: Michael Clark Abrasion Performance - Finish is Merely Burnished		AAMA 611 (See Comments)	AAMA 612 finishes have a minimum hardness of 3H which is much harder than painted finishes used in commercial construction.
	Muriatic Acid Resistance	No blistering & no visual change in appearance	Samples are not tested for Muriatic Acid Resistances		AAMA 612	Muratic Acid is a highly corrosive chemical used to clean masonry and may damage anodized finishes with conventional seals.
	Mortar Resistance	No loss of film adhesion & no visual change in appearance	Samples are not tested for Mortar Resistances		AAMA 612	Mortar, a highly corrosive alkaline, is a very common substance on construction sites and will quickly damage finishes with seals.
	Nitric Acid Resistance	Maximum change in color of 5 Delta E	Samples are not tested for Nitric Acid Resistances		AAMA 612	The Nitric Acid test is designed to determine the ability to resist damage from acid rain.
	Detergent Resistance	No loss of adhesion, no blistering & no visual change in appearance	Samples are not tested for Detergent Resistances		AAMA 612	Detergent is often used to clean buildings and may damage anodized finishes with conventional seals.
	Window Cleaner Resistance	No blistering & no visual change in appearance	Samples are not tested for Window Cleaner Resistances		AAMA 612	Window Cleaner may damage anodized finishes with conventional seals.
DURABILITY	Humidity Resistance	Only a few small blisters as defined by ASTM D 714	Samples are not tested for Humidity Resistances		AAMA 612	The high humidity in coastal environments is very corrosive to anodized finishes and conventional seals.
	Salt Spray Resistance	Min. Rating of 7 for scribed area & 8 for blisters ASTM D 1654 for 4,000 hours	Samples simply exposed for 3,000 hours	Samples simply exposed for 1,000 hours	AAMA 612	The salt in coastal environments is very corrosive to anodized finishes and conventional seals.
	Gloss Retention	Retention shall be a minimum of 50% after 5 years in South Florida	Samples not tested for Gloss Retention	Samples not tested for Gloss Retention	AAMA 612	Testing has revealed that anodized finishes with conventional seals may lose up to 50% of their gloss within 1 year.
	Erosion	Less than 10% film thickness lost after 5 years in South Florida	Samples not tested for Erosion	Samples not tested for Erosion	AAMA 612	Loss of film thickness will dramatically affect the durability and appearance of the finish.

AAMA 612: Voluntary Specifications, Performance Requirements and Test Procedures for Combined Coatings and Anodic Oxide and Transparent Organic Coatings on Architectural Aluminum is the newest standard for anodized finishes issued by the AAMA (American Architectural Manufacturers Association). The new standard is designed to evaluate the durability of the anodized finish by adding requirements for gloss retention, erosion and increases by 33% - 400% the number of hours that the samples are tested for resistance to damage from salt spray. To ensure that the finish maintains its beauty, AAMA 612 requires that the anodized finish be able to resist damage from mortar, acid rain, pollution, detergent and window cleaner. Tests have proven that to pass the additional tests required by AAMA 612, all of the pores of the anodic finish must be completely sealed. YKK AP Anodized Plus® meets or exceeds all of the requirements for AAMA 612.