



**Town of Davidson  
Design Review Board Regular Meeting  
Town Hall and Community Center  
Community Room 120  
251 South Street  
Wednesday, January 21, 2026 at 5:30 PM**

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**I. CALL TO ORDER**

**II. SILENT ROLL CALL**

**III. CHANGES TO THE AGENDA**

**IV. REVIEW/APPROVAL OF MINUTES**

**a. Meeting Minutes**

**Summary:** The Design Review Board will consider approval of November 19, 2025 meeting minutes.

**V. OLD BUSINESS**

**VI. NEW BUSINESS**

**a. Summit Farms Roastery & Gastro Pub Buildings – Review & Recommendation**

**Summary:** The Summit Farms Conditional Master Plan, located at 19300 Shearer Rd. (Tax Parcel ID# 00723103, 00723121, 00723115, 00723116) was approved by the Town of Davidson Board of Commissioners on August 22, 2023. The approval includes the construction of +/-109 residential units, including 12 affordable housing units, along with +/-62,000 SF of commercial square footage featuring a 40-room inn. The Design Review Board will review and provide a recommendation on plans for the first two commercial buildings: a roastery and gastro pub.

**VII. INFORMAL FYI REVIEW**

**VIII. ADJOURN**



**Design Review Board  
Meeting Minutes  
November 19, 2025**

A meeting of the Town of Davidson *Design Review Board* was held in Community Room 120 at Davidson Town Hall, 251 South Street, Davidson, NC 28036.

**I. CALL TO ORDER: 5:31 p.m.**

**II. ROLL CALL AND DETERMINATION OF QUORUM:**

Members Present signified by :

<input checked="" type="checkbox"/> Andrew Gale	<input checked="" type="checkbox"/> Erica Kennedy	<input type="checkbox"/> Nicole Perri
<input checked="" type="checkbox"/> Tom Gibbs	<input checked="" type="checkbox"/> Dave Malushizky	
<input checked="" type="checkbox"/> Rachel Johnson (Chair)	<input checked="" type="checkbox"/> Rusty Miller	

**Town Representatives:** Lindsay Laird, Senior Planner

**III. CHANGES TO THE AGENDA: N/A**

**IV. REVIEW/APPROVAL OF THE MINUTES:**

**a. October 15, 2025, Minutes**

*Motion to recommend approval of minutes:*

- **Motion:** Erica Kennedy
- **Second:** Rusty Miller
- **Vote:** 6-0 (Motion Passed)

**V. OLD BUSINESS: N/A**

**VI. NEW BUSINESS: N/A**

**VII. INFORMAL PRELIMINARY REVIEWS:**

**a. Summit Farms Roastery & Gastro Pub Buildings – Informal Review #1**

Project architects from Redline Design Group gave an overview of the project and explained how plans have evolved from the previously approved roastery concept. Originally one

building, the current plan includes two buildings: a coffee roastery and a gastropub. The roastery building will be located at the corner of Shearer Rd/East Rocky River Rd. It will be +/-6,549 SF and +/-30' in height. Architectural features will include a barn vernacular, "built over time" aesthetic approach with wood board and batten siding, gable roof with eaves, punched opening windows, aluminum storefront and overhead doors. The gastro pub will be located next to the roastery on Shearer Rd. It will be +/-4,450 SF and +/-35' in height. Architectural features will be similar to the roastery and will include wood board and batten siding, gable roof with eaves, punched opening windows, covered seating area, an outdoor stone fireplace, and aluminum storefront/overhead doors.

DRB members provided informal feedback on the updated designs.

**VIII. ADJOURNMENT:** The meeting adjourned at 6:28 p.m.

***APPROVAL OF MEETING MINUTES:***

Date: \_\_\_\_\_ By: \_\_\_\_\_



## DESIGN REVIEW BOARD: STAFF REPORT

Date: January 21, 2026  
To: Design Review Board  
From: Lindsay Laird, Senior Planner  
Re: Summit Farms Roastery & Gastro Pub Buildings – Review & Recommendation

### INTRODUCTION

The Design Review Board (DRB) previously approved plans for the Summit Farms Roastery Building in September 2024. Since that time, plans were updated to change building orientation & design, splitting the roastery building into two separate structures. The DRB informally reviewed updated plans for a roastery building and gastro pub at the November 2025 meeting. Updated designs are up for formal review & recommendation by the Board at the January 21, 2026, meeting.

### APPLICANT INFO

- **Project:** Summit Farms Conditional Planning Area
- **Location:** 19300 Shearer Rd (Parcel IDs 00723103, 00723121, 00723115, & 00723116)
- **Applicant:** Summit Farms, LLC
- **Designer:** Redline Design Group
- **Planning Area (i.e., Zoning Designation):** Conditional (Underlying zoning is Neighborhood Services Overlay District)

### PROJECT DESCRIPTION

The Summit Farms Conditional Master Plan, located at 19300 Shearer Rd. (Tax Parcel ID# 00723103, 00723121, 00723115, 00723116) was approved by the Town of Davidson Board of Commissioners on August 22, 2023, and by Town of Davidson staff on October 12, 2023. The approval includes the construction of +/-109 residential units, including 12 affordable housing units, along with +/-62,000 SF of commercial square footage featuring a 40-room inn. Additionally, the plan proposes a working farm at the heart of the development and various hardscape and alternative surface pathways linking to and connecting throughout the site. A link to the approved project plans is available on the development project website linked under “Resources & Attachments” below.

### Roastery Building

The roastery building will be located at the corner of Shearer Rd/East Rocky River Rd. It will be +/-6,549 SF and +/-30' in height. Architectural features will include a barn vernacular, "built over time" aesthetic approach with wood board and batten siding, gable roof with eaves, punched opening windows, aluminum storefront and overhead doors.

### Gastro Pub

The gastro pub will be located next to the roastery on Shearer Rd. It will be +/-4,450 SF and +/-35' in height. Architectural features will be similar to the roastery and will include wood board and batten siding, gable roof with eaves, punched opening windows, covered seating area, an outdoor stone fireplace, and aluminum storefront/overhead doors.

### **PREVIOUSLY APPROVED ROASTERY PLANS (September 2024)**





### **INFORMAL DRB REVIEW (November 2025)**

Minimal changes were made to building exteriors following the November 19, 2025, DRB meeting. Ongoing design efforts have been focused on the interior of the buildings. A summary of updates provided by the applicant include:

#### **Roastery Building**

- Tweaked placement of the punched openings up higher on the façade to better space out with the interior structural frame
- Added a small wall bump out on the corner (the only specific design change request from the last DRB meeting) to better distinguish the corner of the building / change in materials
- Fine-tuned the exterior wall sconce lighting placement and selection

#### **Gastro Pub**

- Execution of window placement on Shearer Road elevation to coincide with some updates to the interior layout of the building
- Tweaked size and placement of the walk-in cooler (now seen on plan-right side of building)

## PLANNING STAFF REVIEW

Below is a summary of planning and development standards related to this proposal..

### DAVIDSON PLANNING ORDINANCE

#### Conditional Planning Area

- The Conditional Planning Area process is an option for developers/property owners to ask for exceptions from the ordinance in a manner that is mutually agreeable to the developer and the Town of Davidson. There is an opportunity for design-related project conditions with Design Review Board support.

#### Planning Area Standards

- **Permitted Uses:** Compliant (Proposed use is permitted in the Conditional Planning Area)
- **2.2.9.C & 2.3.11.C Building Types:** Storefront buildings are permitted in the Conditional Planning Area and underlying Neighborhood Services Overlay. Buildings shall be designed to be consistent with rural vernacular architecture precedents as described in the Rural Area Plan, Action Item 7.6., "... While development should not be made to look old, new commercial construction should be in the style of large house/general stores in massing and architectural detail."

*The DRB should determine if the proposed design is consistent with rural vernacular architecture.*

- **2.3.11.C Height:** Minimum two-story, maximum three-story height

*The roastery and gastro pub will not be two fully habitable stories.*

*Town staff propose the following condition, "Storefront buildings fronting a pedestrian way or plaza may be one habitable story, so long as they are articulated as two full stories from the exterior."*

- **2.3.11.C Setbacks:** Compliant



**Figure 1. Precedent Photos of Rural Vernacular, Rural Area Plan Pg. 91**

## General Site Design Standards

- **4.3.1.A Pedestrian & Vehicle Access:** The primary pedestrian entry to all storefront and workplace buildings and access to first floor retail shall face a fronting, primary street. There shall be a connecting walkway from the primary entry to the street.

*Primary pedestrian entry to the roastery & gastro pub buildings will not face a fronting primary street and will instead face a public plaza. Town staff propose the following condition, "With Planning Director approval, the primary pedestrian entry to storefront buildings and first floor retail shall not be required to face a fronting, primary street if the entry faces a pedestrian way/public plaza."*

- **4.3.1.B Building Location & Orientation:** Compliant
- **4.3.1.C Building Height:** Minimum two-story, maximum three-story height (See proposed condition related to height)
- **4.3.1.D Fences, Hedges & Garden Walls:** Not applicable
- **4.3.1.E Loading/Service Areas, Mechanical Equipment and Utilities:** Compliant (Loading facilities are not located on a primary street-facing façade – Shearer/E Rocky River Rd)
- **4.3.1.F Encroachments:** Not applicable
- **4.3.1.G Development Plans with Multiple Buildings:** Compliant
- **4.3.1.H Public Spaces:** Compliant (Urban open space is fronted by streets/buildings, visible, and easily accessible)

- **General Building Design Standards**

- **4.4.1 General Building Design Standards:** Building design should be complementary with prevalent architectural features of the surrounding neighborhood.

*Confirm design is complementary to rural vernacular architecture*

- **4.4.1.A Building Height:** Minimum two-story, maximum three-story height
- **4.4.1.B Form and Massing:** For large scale buildings, the front façade shall create repetitive bays, or the façade shall be divided into an asymmetrical, yet balanced, composition. The roastery building is not subject to DPO 4.4.1.B.3 per approved conditional planning area standards.

*Confirm building facades are divided into an asymmetrical, yet balanced, composition.*

- **4.4.1.C Façade Articulation:** All buildings visible from a public street or park/open space shall have: A recognizable base and a recognizable top distinguished from the body of the building. Large buildings shall be modulated through use of repetitive bays.

*Confirm that building facades are adequately articulated.*

- **4.4.1.D Façade Transparency:** Storefront buildings in the Neighborhood Services Overlay have specific transparency requirements (See 4.5.6.J.3 below)
- **4.4.1.E Materials:** Compliant (Proposed materials appear to be complementary to surroundings and are suitable for a commercial roastery & gastro pub).
- **4.4.1.F Architectural Details:** Window and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions.

Additionally, architectural elements shall be used to establish human scale at the street level and main entrances should be emphasized at street level.

### **Specific Building Type Requirements – Storefront Building Type**

- **4.5.6.A First Floor Retail Use:** Compliant
- **4.5.6.B Transparency Requirement:** See 4.5.6.J.3 for transparency requirements specific to the Neighborhood Services (NS) Overlay
- **4.5.6.C First Floor Height:** Compliant
- **4.5.6.D Dominant Vertical Proportions:** Compliant
- **4.5.6.E Use Requirements:** Compliant
- **4.5.6.F Entrances from Each Street:**

*Entrances are not provided on each street. Town staff proposes the following condition, “With Planning Director approval, storefront buildings are not required to provide entrances from each street.”*

- **4.5.6.G Major Entrances Distinguished:** Compliant
- **4.5.6.H Principal Entrance on Street or Public Plaza:** Compliant – Entrances front a public plaza
- **4.5.6.I Secondary Entrances:** NA
- **4.5.6.J.1 Use Requirements NS Overlay:** Compliant - Commercial/Retail Use
- **4.5.6.J.2 Roof Form:** Compliant - Shall not be flat
- **4.5.6.J.3 Transparency NS Overlay:** For storefront buildings located in the Neighborhood Services Overlay, at least 50% of the first-floor façade between 2'-0" and 10'-0" above grade facing the primary streets must be transparent and at least 30% of the upper floor facades between 3'-0" and 37'-0" above finished floor must be transparent.

*First-floors of both buildings do not appear to meet the 50% minimum transparency requirements on Shearer Road facades. Town staff propose a condition to allow for less transparency than required by the ordinance.*

- **4.5.6.J.4 Materials NS Overlay:** Building design shall use materials consistent with rural vernacular architecture (see figure 1. precedent images from Rural Area Plan below).

*Confirm design/materials are consistent with rural vernacular architecture.*

### **PROPOSED MOTION**

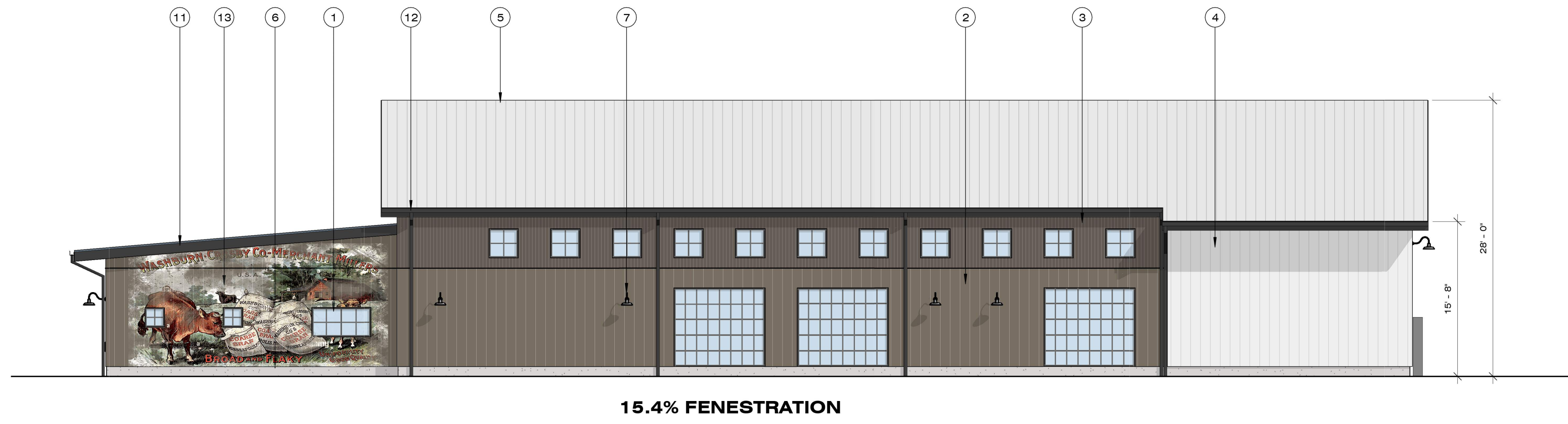
Motion to recommend approval of building schematic designs for the Summit Farms roastery and gastro pub buildings **[as submitted]** OR **[with the following conditions...]** in accordance with the design conditions noted by staff.

### **RESOURCES & ATTACHMENTS**

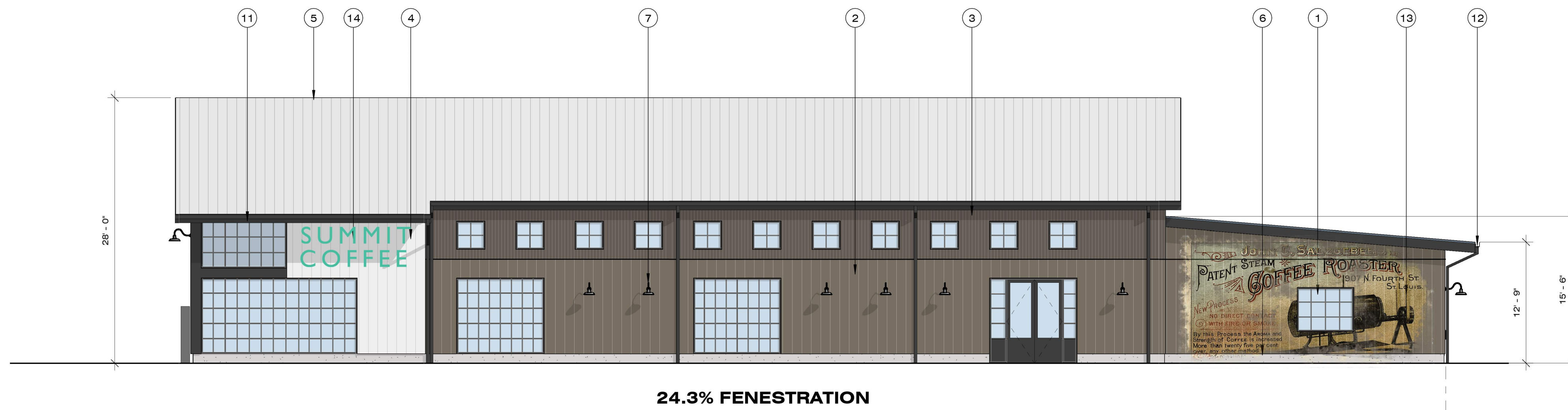
- [Polaris 3g \(Mecklenburg County GIS Mapping Tool\)](#)
- [Davidson Planning Ordinance \(DPO\)](#)
  - [Section 2. Planning Areas](#)

- [Section 4. Site & Building Design Standards](#)
- [Summit Farms Development Project Webpage](#)
- [Rural Area Plan](#)

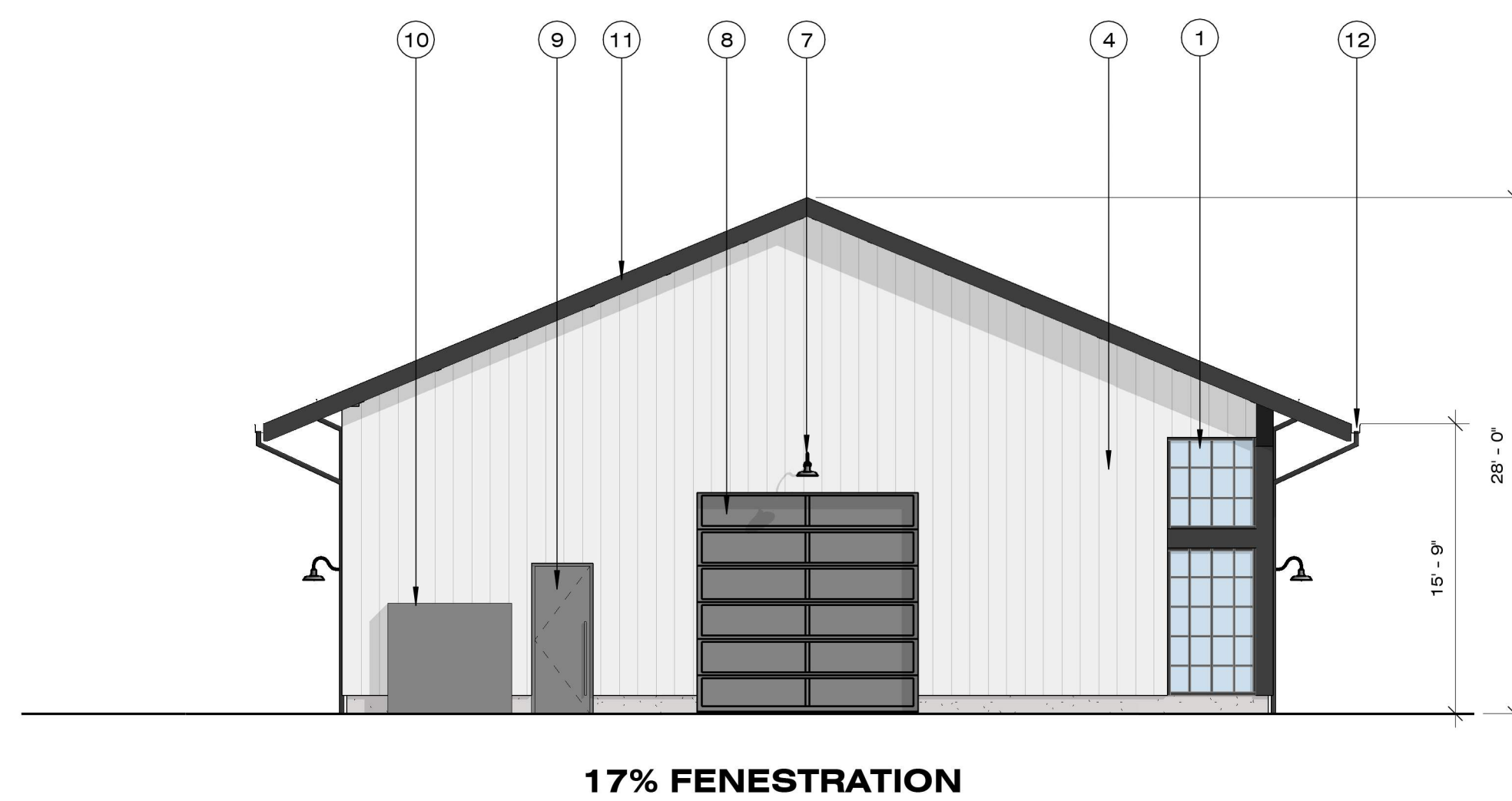




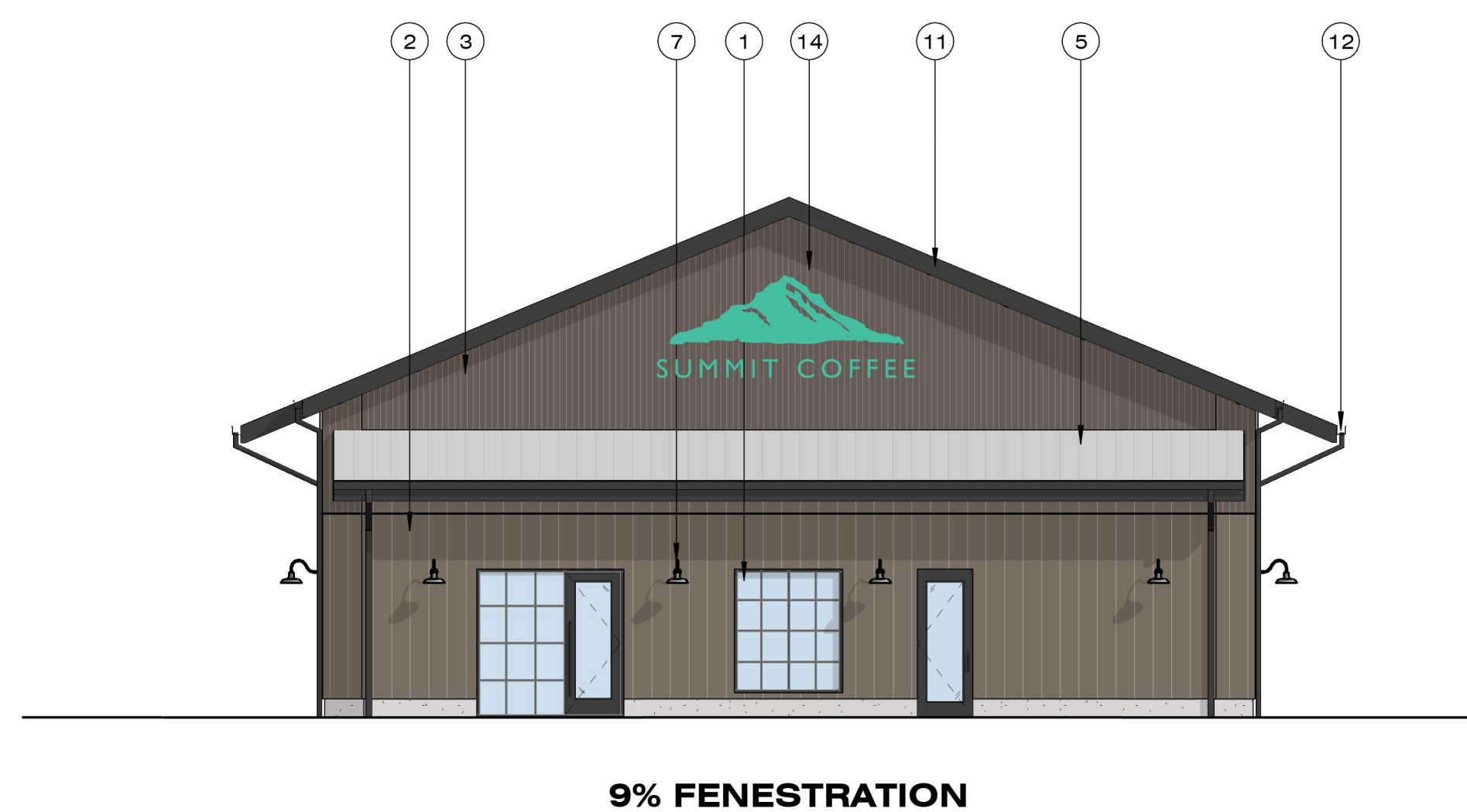
**1** EXTERIOR ELEVATION BUILDING A - SHEARER ROAD  
SCALE: 1/8" = 1'-0"



**2** EXTERIOR ELEVATION BUILDING A - SUMMIT WAY  
SCALE: 1/8" = 1'-0"



**3** EXTERIOR ELEVATION BUILDING A - SERVICE YARD  
SCALE: 1/8" = 1'-0"



**4** EXTERIOR ELEVATION BUILDING A - ROCKY RIVER ROAD  
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES	
1	PRE-FINISHED ALUMINUM GLAZING SYSTEM. COLOR: DARK CHARCOAL, TYP.
2	THERMALLY MODIFIED WOOD CLADDING, BOARD & BATTON APPLICATION, WIDE SPACING. COLOR: BROWN
3	THERMALLY MODIFIED WOOD CLADDING, BOARD & BATTON APPLICATION, THIN SPACING. COLOR: DARK BROWN
4	THERMALLY MODIFIED WOOD CLADDING, BOARD & BATTON APPLICATION, WIDE SPACING. COLOR: WHITE WASH
5	PRE-FINISHED RAISED BEAM METAL ROOFING. COLOR: ASH GRAY, TYP.
6	CONCRETE BASE
7	WALL LIGHT. BARN LIGHT ELECTRICAL COMPANY. MODEL BLE-G-WHS, TYP.
8	OVERHEAD GLASS DOOR
9	HOLLOW METAL DOOR, PAINTED, COLOR: CHARCOAL
10	ELECTRICAL EQUIPMENT
11	THERMALLY MODIFIED WOOD TRIM & FASCIA. COLOR: DARK GREEN
12	GUTTER & DOWNSPOUT. PRE-FINISHED KYNAR PAINT, COLOR: DARK CHARCOAL
13	ART MURAL AREA
14	SIGNAGE
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GENERAL ELEVATION NOTES	
1	EJ - INDICATES LOCATION OF MASONRY EXPANSION JOINTS. COORDINATE WITH STRUCTURAL DRAWINGS. COLOR OF EXPANSION JOINT TO MATCH ADJACENT FINISH (INT/EXT).
2	DS - INDICATES LOCATION OF DOWNSPOUT. COORDINATE WITH CIVIL DRAWINGS TO DETERMINE WHETHER OR NOT THE DOWNSPOUTS DUMP OUT ONTO GRADE OR TIE INTO THE STORM SEWER SYSTEM.
3	ALL DOWNSPOUTS SHALL BE BOX CONSTRUCTION WITH KYNAR 500 FINISH ON 24GA GALVANIZED STEEL. COLOR SHALL BE PER THE FINISH SCHEDULE. PROVIDE PVC ROUND-TO-SQUARE TRANSITION AT GRADE TO STORM SYSTEM SET 4" ABOVE GRADE.
4	GENERAL CONTRACTOR TO ENSURE THAT OPENINGS WITHIN EXTERIOR WALLS ARE PROPERLY TAPED/FLASHED TO PREVENT WATER INFILTRATION INTO THE BUILDING.
5	UNO. ALL EXTERIOR GLAZING SHALL BE CONSIDERED TEMPERED.
6	UNO. ALL EXTERIOR STOREFRONT/CURTAIN WALL SYSTEMS SHALL HAVE A XXXXX ANODIZED FINISH. CAULK JOINTS ALONG THESE LOCATIONS SHALL MATCH THE STOREFRONT/CURTAIN WALL SYSTEM. PROVIDE SAMPLES.
7	GC SHALL ENSURE THAT THE ENTIRE STRUCTURE IS 'DRIED-IN' PRIOR TO INSTALLATION OF INSULATION AND DRYWALL.
8	ALL EXTERIOR EXPOSED PAINTED STEEL SHALL RECEIVE INDUSTRIAL GRADE URETHANE ALKYD ENAMEL (SEMI-GLOSS). COLOR SHALL BE PER EXT. FINISH SCHEDULE.
9	GC SHALL ENSURE POSITIVE SLOPE AWAY FROM BUILDING PERIMETER FOR PROPER DRAINAGE. GC SHALL TAKE MEASURES TO PROTECT NEW EXTERIOR MATERIALS FROM DIRT MIGRATION DURING RAINS @ PERIMETER (STRAW, DRAINAGE MATTING, ETC.).
10	GC SHALL PROVIDE THOROUGH FINAL CLEANING OF ALL EXTERNAL SURFACES (INCLUDING ROOF) PRIOR TO C.O.
11	GC TO PROVIDE BATTERY BACK-UP EMERGENCY EGRESS LIGHTING AT ALL DOOR LOCATIONS SHOWN, SEE ELEC. DWGS.
12	
13	

EXT. ELEVATIONS LEGEND	
	EXPOSED CONCRETE WALL -
	VERTICAL RIB WOOD PLANK - 4' OC
	VERTICAL RIB WOOD PLANK - 12' OC
	CURTAIN WALL / STOREFRONT

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REDLINE

925 Tuckaseegee Rd.  
Suite 110  
Charlotte, NC 28208  
704.377.2990  
www.redlinedg.com

**SUMMIT FARMS - ROASTERY BLDG A**

DAVIDSON, NC

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ARCH. PROJECT # 25-109

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

SHEET #

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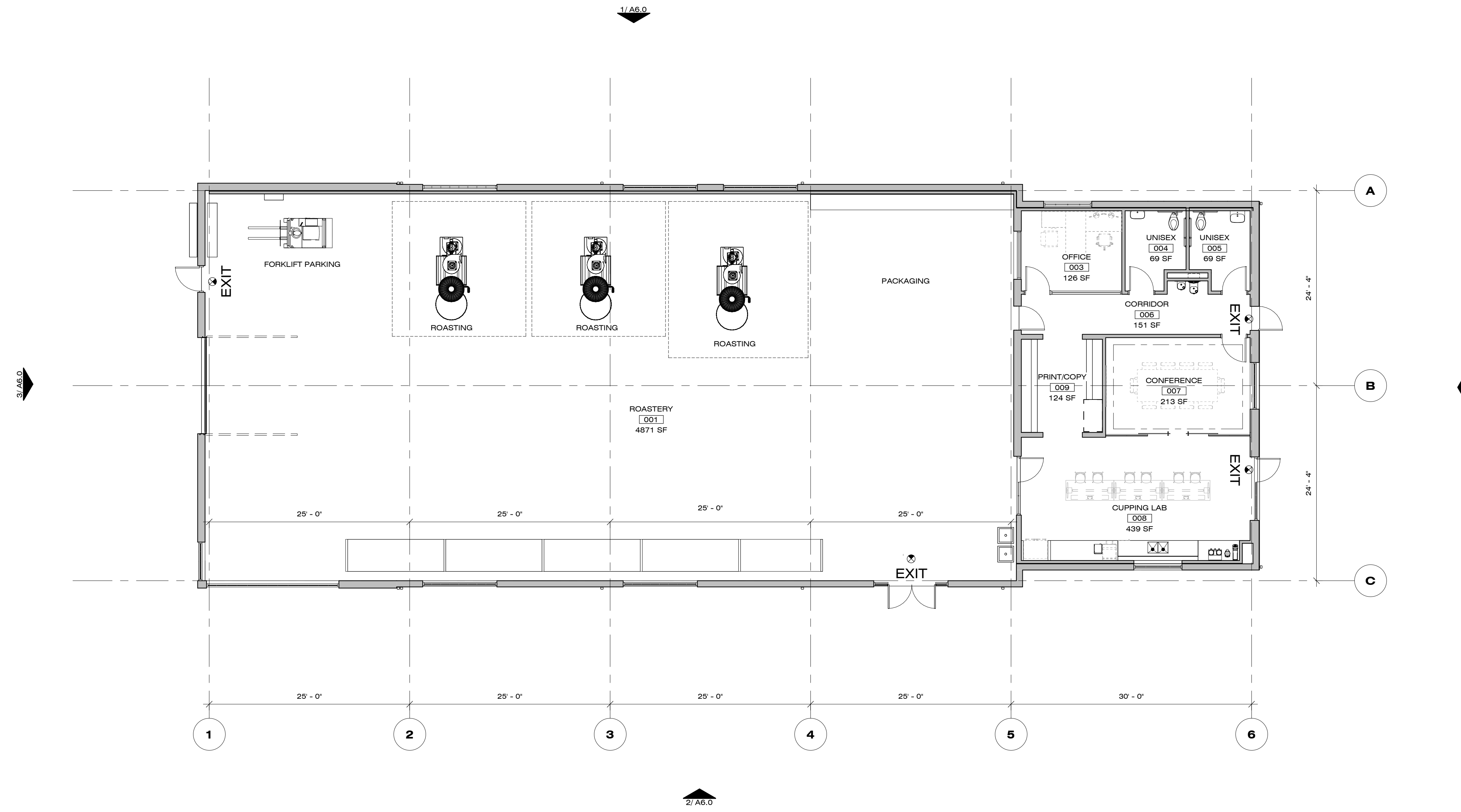


REDLINE

925 Tuckaseegee Rd.  
Suite 110  
Charlotte, NC 28208

704.377.2990

www.redlinedg.com



**1 1ST FLOOR CONSTRUCTION PLAN - BLDG A**  
SCALE: 1/8" = 1'-0"

**SUMMIT FARMS -  
ROASTERY  
BLDG A**

DAVIDSON, NC

CONSTRUCTION KEY NOTES			
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GENERAL CONSTRUCTION NOTES	
1	UNO, ALL WALLS WITH SOLID HATCHING ARE NEW. EXISTING WALLS HAVE NO HATCH. 90 DEGREE SWING DOORS ARE NEW OR RELOCATED EXISTING DOORS. 45 DEGREE SWINGS INDICATE EXISTING DOORS.
2	GC SHALL COMPLETELY CLEAN ENTIRE LEASED PREMISES IMMEDIATELY PRIOR TO OCCUPANCY.
3	GC SHALL FAMILIARIZE THEMSELVES WITH THE PREMISES AND THE CONTRACT DRAWINGS AND SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
4	GC SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY ARCH. OF ANY CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS. GC AND SUBS SHALL NOT SCALE DRAWINGS.
5	GC SHALL COORDINATE WITH THE BUILDING OWNER OR MGMT. ON ALL MATERIAL DELIVERY AND UNLOADING, DOOR ACCESS, AND ANY DISRUPTIONS IN THE NORMAL UTILITIES.
6	GC SHALL NOTIFY ARCH. OF ANY REQUIRED MATERIALS THAT ARE NOT READILY AVAILABLE AND THAT MAY DELAY COMPLETION. THIS NOTIFICATION SHALL HAPPEN WITHIN 48 HRS. OF RELEASE.
7	PAINTING SUBCONTRACTOR SHALL PROVIDE LOW-VOC PRIMERS AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH THE SUBSTRATES INDICATED.
8	GC SHALL INSTALL AND MAINTAIN REQ'D. PROTECTIVE COVERINGS, TEMPORARY DOORS AND WALLS, DUST BARRIERS, FLOOR PROTECTION, ETC. GC SHALL KEEP ALL COMMON AREAS FREE OF DUST AND DEBRIS.
9	GC SHALL MAINTAIN ALL LIFE SAFETY SYSTEMS IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING EXIT LIGHTING, SPRINKLER SYSTEMS, SMOKE DETECTION, AND EMERGENCY LIGHTING.
10	UNO, ON DRAWINGS, THERE SHALL BE NO SUBSTITUTIONS OF MATERIALS MADE WITHOUT WRITTEN PERMISSION FROM OWNER AND ARCHITECT.

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ARCH PROJECT CODE **CLT**  
ARCH. PROJECT # **25-109**

**1ST FLOOR CONSTRUCTION PLAN**

SCALE: 1/8" = 1'-0"

SHEET #

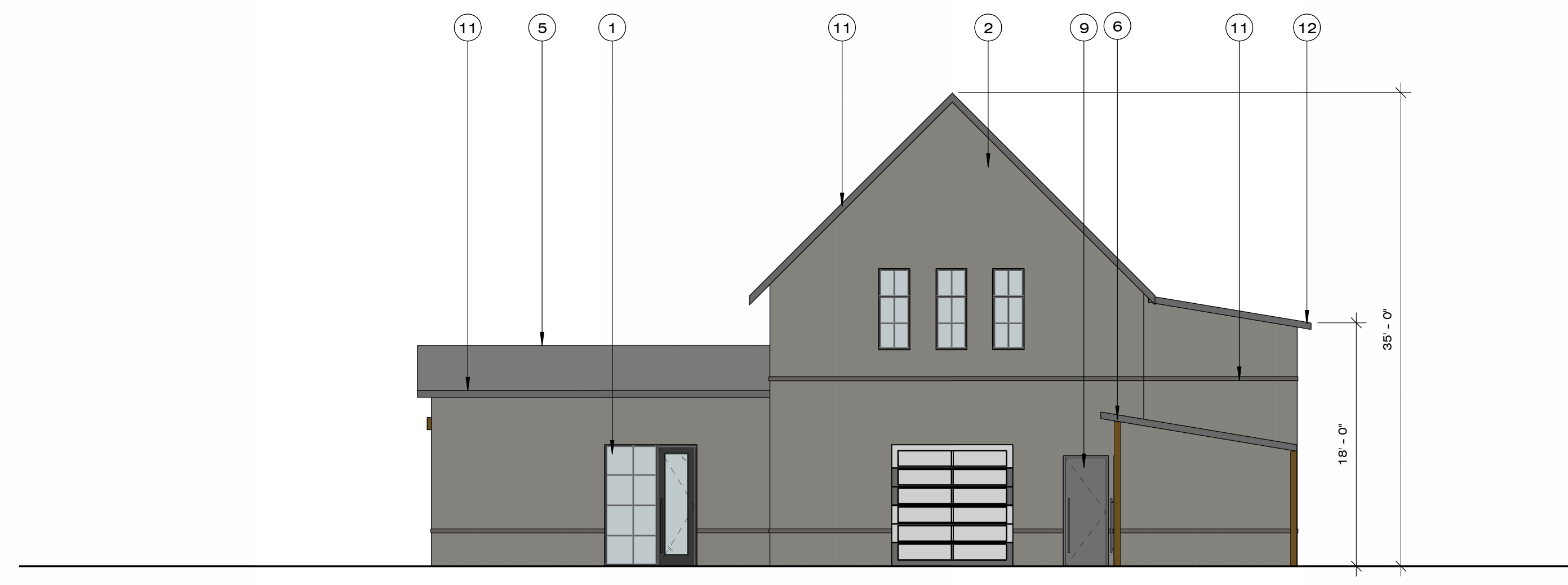
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**SUMMIT FARMS**  
ROASTERY BLDG A - VIEW 1  
11.06.2026

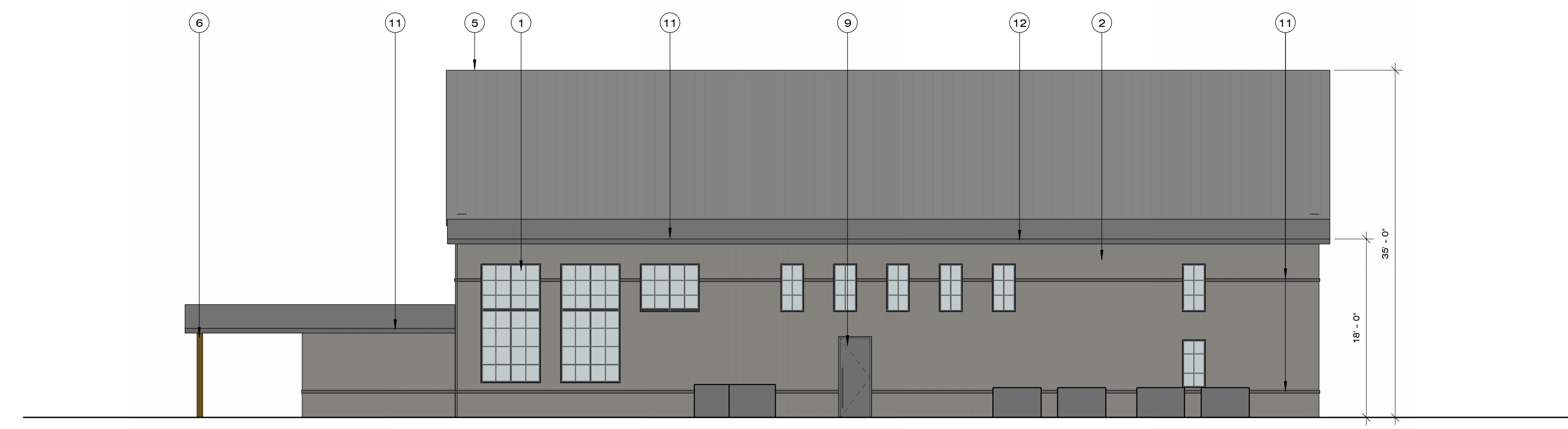


**SUMMIT FARMS**  
ROASTERY BLDG A - VIEW 2  
11.06.2026



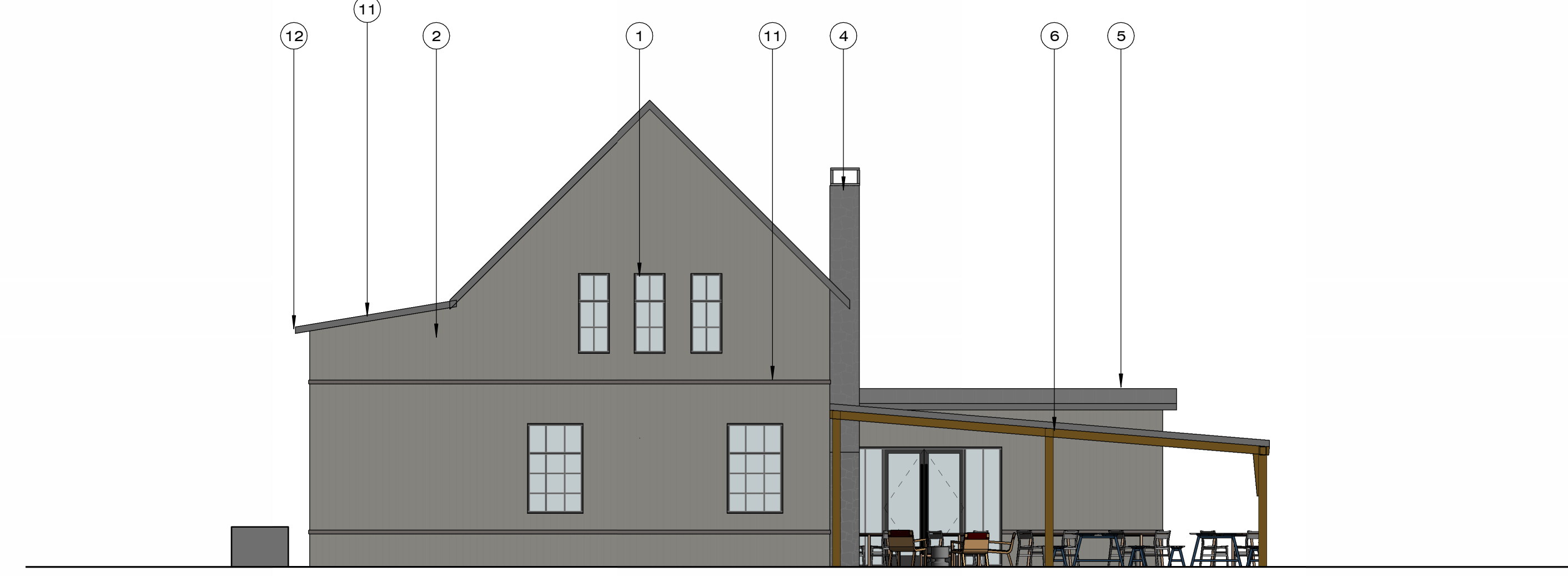
16% FENESTRATION

**1 EXTERIOR ELEVATION BUILDING B - SERVICE YARD**  
SCALE: 1/8" = 1'-0"



17% FENESTRATION

**2 EXTERIOR ELEVATION BUILDING B - SHEARER ROAD**  
SCALE: 1/8" = 1'-0"



16% FENESTRATION

**3 EXTERIOR ELEVATION BUILDING B - PIAZZA**  
SCALE: 1/8" = 1'-0"



21% FENESTRATION

**4 EXTERIOR ELEVATION BUILDING B - SUMMIT WAY**  
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES	
1	PRE-FINISHED ALUMINUM GLAZING SYSTEM. COLOR: DARK CHARCOAL, TYP.
2	THERMALLY MODIFIED WOOD CLADDING, VERTICAL PLANK APPLICATION. COLOR: GRAY
3	-
4	TENNESSEE SANDSTONE VENEER
5	PREFINISHED RAISED SEAM METAL ROOFING. COLOR: SLATE GRAY, TYP.
6	WOOD, NATURAL STAIN
7	WALL LIGHT. BARN LIGHT ELECTRICAL COMPANY. MODEL BLE-G-WHS, TYP.
8	OVERHEAD GLASS DOOR
9	HOLLOW METAL DOOR, PAINTED, COLOR: CHARCOAL
10	ELECTRICAL EQUIPMENT
11	THERMALLY MODIFIED WOOD TRIM & FASCIA. COLOR: DARK GRAY
12	GUTTER & DOWNSPOUT. PREFINISHED KYNAR PAINT, COLOR: CHARCOAL
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GENERAL ELEVATION NOTES	
1	EJ - INDICATES LOCATION OF MASONRY EXPANSION JOINTS. COORDINATE WITH STRUCTURAL DRAWINGS. COLOR OF EXPANSION JOINT TO MATCH ADJACENT FINISH (INTEXT).
2	DS - INDICATES LOCATION OF DOWNSPOUT. COORDINATE WITH CIVIL DRAWINGS TO DETERMINE WHETHER OR NOT THE DOWNSPOUTS DUMP OUT ONTO GRADE OR TIE INTO THE STORM SEWER SYSTEM.
3	ALL PARAPET COPING SHALL BE KYNAR 500 FINISH ON 24 GA GALVANIZED STEEL. COLOR SHALL BE PER THE FINISH SCHEDULE. COPING DETAIL EQUAL TO PAC-CLAD "PAC-CONTINUOUS CLEAT COPING" W/ INTEGRAL SPLICE PLATES.
4	ALL DOWNSPOUTS SHALL BE BOX CONSTRUCTION WITH KYNAR 500 FINISH ON 24GA GALVANIZED STEEL. COLOR SHALL BE PER THE FINISH SCHEDULE. PROVIDE PVC ROUND-TO-SQUARE TRANSITION AT GRADE TO STORM SYSTEM SET 4" ABOVE GRADE.
5	GENERAL CONTRACTOR TO ENSURE THAT OPENINGS WITHIN EXTERIOR WALLS ARE PROPERLY TAPED/FLASHED TO PREVENT WATER INFILTRATION INTO THE BUILDING.
6	UNO, ALL EXTERIOR GLAZING SHALL BE CONSIDERED TEMPERED.
7	UNO, ALL EXTERIOR STOREFRONT/CURTAIN WALL SYSTEMS SHALL HAVE A CLEAR ANODIZED FINISH. CAULK JOINTS ALONG THESE LOCATIONS SHALL BE A MEDIUM GREY COLOR TO MATCH THE STOREFRONT/CURTAIN WALL SYSTEM. PROVIDE SAMPLES.
8	GC SHALL ENSURE THAT THE ENTIRE STRUCTURE IS "DRIED-IN" PRIOR TO INSTALLATION OF INSULATION AND DRYWALL.
9	ALL EXTERIOR EXPOSED PAINTED STEEL SHALL RECEIVE INDUSTRIAL GRADE URETHANE ALKYD ENAMEL (SEMI-GLOSS). COLOR SHALL BE PER EXT. FINISH SCHEDULE.
10	GC SHALL ENSURE POSITIVE SLOPE AWAY FROM BUILDING PERIMETER FOR PROPER DRAINAGE. GC SHALL TAKE MEASURES TO PROTECT NEW EXTERIOR MATERIALS FROM DIRT MIGRATION DURING RAIN & PERIMETER GETAWAY, DRAINAGE MATTING, ETC.)
11	EXISTING DEMOLISHED PENETRATIONS IN EXISTING EXTERIOR MASONRY THAT ARE NO LARGER THAN 1/2" DIAMETER TO BE INFILLED WITH MORTAR. PENETRATIONS LARGER THAN 1/2" TO BE REPLACE WITH TOOTHED-IN BRICK, TYP.
12	GC SHALL PROVIDE THOROUGH FINAL CLEANING OF ALL EXTERNAL SURFACES (INCLUDING ROOF) PRIOR TO C.O.
13	GC TO PROVIDE BATTERY BACK-UP EMERGENCY EGRESS LIGHTING AT ALL DOOR LOCATIONS SHOWN, SEE ELEC. DWGS.

EXT. ELEVATIONS LEGEND	
[Pattern]	EXPOSED CONCRETE WALL -
[Pattern]	EIFS -
[Pattern]	CURTAIN WALL / STOREFRONT
[Pattern]	1" INSULATED SPANDEL PANEL - GLASS / METAL
[Pattern]	ACM 1 RAIN SCREEN SYSTEM (ALUM. COMPOSITE METAL PANELS)
[Pattern]	ACM 2 RAIN SCREEN SYSTEM (ALUM. COMPOSITE METAL PANELS)
[Pattern]	SIMULATED WOOD GRAIN RAIN SCREEN SYSTEM (ACM / PARKLEX / PRODEMA)
[Pattern]	ARCHITECTURAL LOUVER
[Pattern]	ARCHITECTURAL METAL PANEL (CORRUGATED)
[Pattern]	BRICK VENEER
[Pattern]	SMOOTH FACE CMU
[Pattern]	SPLIT FACE CMU
[Symbol]	EMERGENCY OUTLET FOR EMERGENCY ROOF DRAINS - PROVIDE FLAPPER COVER & BIRD SCREEN. SILVER METALLIC FINISH U.N.O.
[Symbol]	ALUMINUM SUNSHADE LOUVERS
[Symbol]	EXP-01 EXPANSION JOINT

**REDLINE**

925 Tuckaseegee Rd.  
Suite 110  
Charlotte, NC 28208

704.377.2990

www.redlinedg.com

**SUMMIT FARMS - GASTRO PUB BLDG B**

DAVIDSON, NC

#	DESCRIPTION	DATE
1	ENTER DESCRIPTION HERE	XX.XX.XX
2		
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ARCH PROJECT CODE: XXX  
ARCH. PROJECT #: CLT  
25-109

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

SHEET # **A6.0**

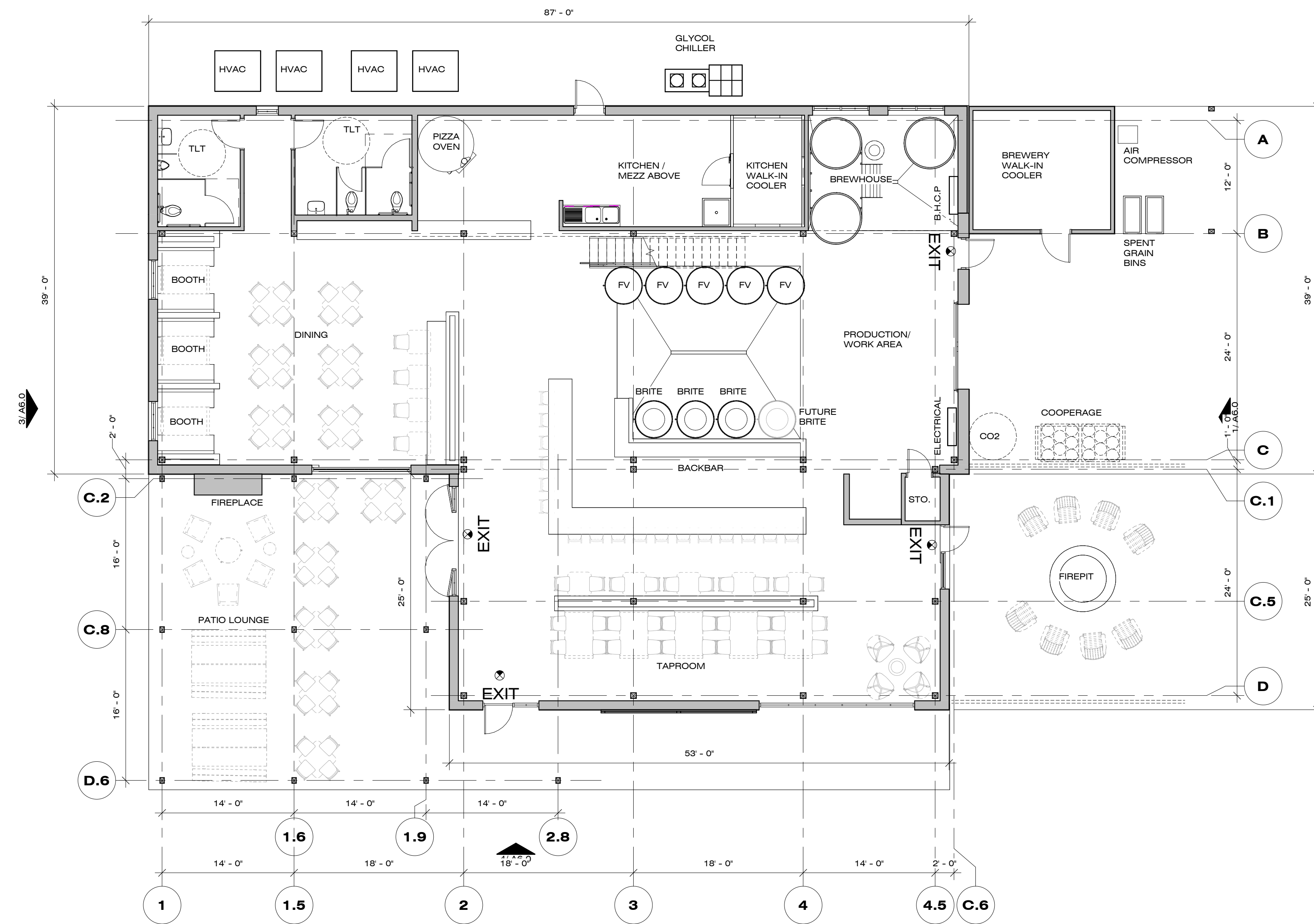


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**1 1ST FLOOR CONSTRUCTION PLAN**  
SCALE: 1/8" = 1'-0"

**SUMMIT FARMS -  
GASTRO PUB  
BLDG B**

DAVIDSON, NC

CONSTRUCTION KEY NOTES			
1	-	11	-
2	-	12	-
3	-	13	-
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GENERAL CONSTRUCTION NOTES			
1	UNO, ALL WALLS WITH SOLID HATCHING ARE NEW. EXISTING WALLS HAVE NO HATCH. 90 DEGREE SWING DOORS ARE NEW OR RELOCATED EXISTING DOORS. 45 DEGREE SWINGS INDICATE EXISTING DOORS.	11	UNO, ON DRAWINGS, THERE SHALL BE NO SUBSTITUTIONS OF MATERIALS MADE WITHOUT WRITTEN PERMISSION FROM OWNER AND ARCHITECT.
2	GC SHALL COMPLETELY CLEAN ENTIRE LEASED PREMISES IMMEDIATELY PRIOR TO OCCUPANCY.	12	UNO, ALL SURFACES TO BE PATCHED OR HOLES TO BE FILLED SHALL MATCH THE ADJACENT CONSTRUCTION AND FINISHES.
3	GC SHALL FAMILIARIZE THEMSELVES WITH THE PREMISES AND THE CONTRACT DRAWINGS AND SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.	13	PROVIDE FIRE-RETARDANT WOOD BLOCKING AT ALL LOCATIONS OF NEW MILLWORK, TOILET ACCESSORIES, TV MOUNTING, ETC.
4	GC SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY ARCH. OF ANY CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS. GC AND SUBS SHALL NOT SCALE DRAWINGS.		
5	GC SHALL COORDINATE WITH THE BUILDING OWNER OR MGMT. ON ALL MATERIAL DELIVERY AND UNLOADING, DOOR ACCESS, AND ANY DISRUPTIONS IN THE NORMAL UTILITIES.		
6	GC SHALL NOTIFY ARCH. OF ANY REQUIRED MATERIALS THAT ARE NOT READILY AVAILABLE AND THAT MAY DELAY COMPLETION. THIS NOTIFICATION SHALL HAPPEN WITHIN 48 HRS. OF RELEASE.		
7	PAINTING SUBCONTRACTOR SHALL PROVIDE LOW-VOC PRIMERS AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH THE SUBSTRATES INDICATED.		
8	GC SHALL INSTALL AND MAINTAIN REQ'D. PROTECTIVE COVERINGS, TEMPORARY DOORS AND WALLS, DUST BARRIERS, FLOOR PROTECTION, ETC. GC SHALL KEEP ALL COMMON AREAS FREE OF DUST AND DEBRIS.		
9	GC SHALL MAINTAIN ALL LIFE SAFETY SYSTEMS IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING EXIT LIGHTING, SPRINKLER SYSTEMS, SMOKE DETECTION, AND EMERGENCY LIGHTING.		
10	GC SHALL PERFORM ALL WORK THAT CAUSES DISTURBANCES TO THE TENANT AFTER NORMAL BUSINESS HOURS - OR SHALL COORDINATE W/ OWNER WITHIN 48 HRS OF SUCH WORK.		

#	DESCRIPTION	DATE
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ARCH. PROJECT #: CLT  
25-109

1ST FLOOR CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"

SHEET # **A1.1**



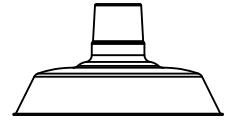
**SUMMIT FARMS**  
GASTROPUB BLDG B - VIEW 1  
11.06.2026



**SUMMIT FARMS**  
GASTROPUB BLDG B - VIEW 2  
11.06.2026



SPS-0628 REV B

**THE ORIGINAL™ 24" & 28" SERIES**JOB NAME: ROASTERYFIXTURE TYPE: EXT LIGHT 1

BLE -	<u>G</u>	-	<u>WHS20</u>	-	<u>NA</u>	-	<u>G22</u>	-	<u>NA</u>	-		-
	<u>A</u>		<u>B</u>		<u>C</u>		<u>D</u>		<u>E</u>		<u>F</u>	<u>G</u>
	<u>H</u>		<u>I</u>		<u>J</u>		<u>K</u>		<u>L</u>			

Order Example: BLE - G - WHS24 - 600 - G15 - NA - 980 - NA - CGG - 975 - FST - HDBP - E26

**A - MOUNTING STYLE**

<b>C</b>	Cord Hung
<b>CN</b>	Chain Hung
<b>G</b>	Gooseneck
<b>S</b>	Stem Mount
<b>F</b>	Flush Mount

**B - SHADE SIZE**

THE ORIGINAL™:

<b>WHS24</b>	24" Shade
<b>WHS28</b>	28" Shade

**C - SHADE FINISH**POWDER COAT FINISHES<sup>1</sup>:

<b>100</b>	Black
<b>105</b>	Textured Black
<b>106</b>	Matte Black
<b>200</b>	White
<b>206</b>	Matte White
<b>300</b>	Dark Green
<b>307</b>	Emerald Green
<b>311</b>	Seafoam
<b>320</b>	Fern Green
<b>370</b>	Mint
<b>380</b>	Chartreuse
<b>390</b>	Teal
<b>400</b>	Barn Red
<b>420</b>	Orange
<b>430</b>	Soft Clay
<b>470</b>	Watermelon
<b>480</b>	Blush Pink
<b>490</b>	Magenta
<b>495</b>	Sherbet Orange
<b>500</b>	Buttery Yellow
<b>570</b>	Sunflower
<b>600</b>	Bronze
<b>601</b>	Chocolate
<b>605</b>	Textured Rust
<b>607</b>	Taupe
<b>615</b>	Textured Bronze
<b>630</b>	Beige
<b>700</b>	Royal Blue
<b>705</b>	Navy
<b>715</b>	Sky Blue
<b>790</b>	Lavender
<b>800</b>	Industrial Grey
<b>805</b>	Charcoal Granite
<b>815</b>	Light Grey
<b>975</b>	Galvanized

**D - MOUNTING**Please Note: If Flush Mount [F] is selected in **Section A**, please select **NA****NA** Not Applicable

CSA LISTED CORD OPTIONS:

<b>SBK</b>	Standard Black
<b>SWH</b>	Standard White
<b>CSB</b>	Black Cloth
<b>YLW</b>	Buttery Yellow Cloth
<b>NVY</b>	Navy Cloth
<b>RBLU</b>	Royal Blue Cloth
<b>SLVR</b>	Silver Cloth
<b>CRM</b>	Creme Cloth
<b>ORG</b>	Orange Cloth
<b>RBS</b>	Barn Red & Black Swirl Cloth
<b>NGRN</b>	Neon Green Cloth
<b>SBLU</b>	Sky Blue Cloth
<b>SFM</b>	Sea Foam Cloth
<b>RST</b>	Rust Cloth
<b>BPNK</b>	Blush Pink Cloth
<b>EGRN</b>	Emerald Green Cloth
<b>FGRN</b>	Fern Green Cloth
<b>CNF</b>	Confetti Cloth

CHAIN MOUNT OPTIONS:

<b>CN36</b>	3' of Chain
<b>CN72</b>	6' of Chain

GOOSENECK OPTIONS:

<b>G1<sup>2</sup></b>	<b>G9</b>	<b>G24</b>
<b>G2</b>	<b>G11</b>	<b>G36</b>
<b>G6</b>	<b>G14<sup>2</sup></b>	<b>G40</b>
<b>G7</b>	<b>G15</b>	<b>G64</b>
<b>G8</b>	<b>G22</b>	<b>G65</b>

STEM MOUNT OPTIONS:

<b>ST506</b>	.5" Stem Mount, 6"
<b>ST512</b>	.5" Stem Mount, 12"
<b>ST518</b>	.5" Stem Mount, 18"
<b>ST524</b>	.5" Stem Mount, 24"
<b>ST536</b>	.5" Stem Mount, 36"
<b>ST548</b>	.5" Stem Mount, 48"
<b>ST706</b>	.75" Stem Mount, 6"
<b>ST712</b>	.75" Stem Mount, 12"
<b>ST718</b>	.75" Stem Mount, 18"
<b>ST724</b>	.75" Stem Mount, 24"
<b>ST736</b>	.75" Stem Mount, 36"
<b>ST748</b>	.75" Stem Mount, 48"

**E - CORD LENGTH<sup>3</sup>**Please Note: If GU24 is selected in **Section L**, max Cord Length is 12FT

<b>NA</b>	Not Applicable
<b>7FT</b>	7' of Cord
<b>12FT</b>	12' of Cord
<b>20FT</b>	20' of Cord

**F - MOUNTING FINISH**Please Note: See **Section C** for Finish Options. 980-Brushed Aluminum is also available for Gooseneck (Except G36, G40, G64, and G65) and Stem mounting styles.

(I) If Cord Hung [C] Mounting Style, selection identifies canopy finish  
 (II) If Chain Hung [CN] Mounting Style, selection identifies chain and canopy finish  
 (III) If Stem Mount [S] Mounting Style, selection identifies stem and canopy finish  
 (IV) If Flush Mount [F] Mounting Style, selection identifies Hex Coupler and Canopy Finish

**980** Brushed Aluminum**G - CORDS<sup>4</sup>**Please Note: See **Section D** for all applicable CSA Listed Cord Options for Chain Hung Mounting Style**NA** Not Applicable**H - SHADE ACCESSORIES<sup>5</sup>**

<b>NA</b>	None
<b>TGG</b>	Heavy Duty Guard
<b>CGG</b>	Cast Guard
<b>WGG</b>	Wire Guard

**I - SHADE ACCESSORY FINISH**Please Note: See **Section C** for Finish Options.**NA** Not Applicable**J - GLASS OPTION<sup>5</sup>**

<b>NA</b>	Not Applicable
<b>CLR</b>	Clear Glass
<b>FST</b>	Frosted Glass
<b>RIB</b>	Ribbed Glass

**K - MOUNTING ACCESSORY**

<b>NA</b>	None/Not Applicable
<b>HSC</b>	Hang Straight Canopy <sup>6</sup>
<b>HDSMC</b>	Heavy Duty Stem Mount Canopy <sup>6</sup>
<b>HDBP</b>	Heavy Duty Backing Plate <sup>7,8</sup>
<b>DD</b>	Dusk-to-Dawn Photocell <sup>7,8</sup>
<b>DBPC</b>	Decorative Backing Plate Cover <sup>7,8</sup>
<b>DCHX</b>	Decorative Backing Plate Cover & Hex Cover <sup>7,8</sup>

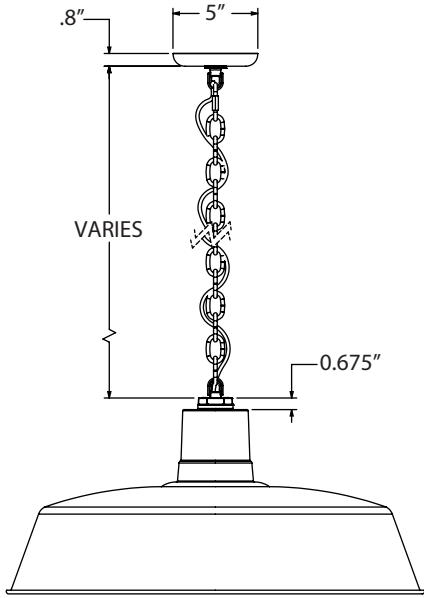
**L - LIGHT SOURCE**

<b>E26</b>	200 Watt Max
<b>GU24</b>	23 Watt Max <sup>9</sup>

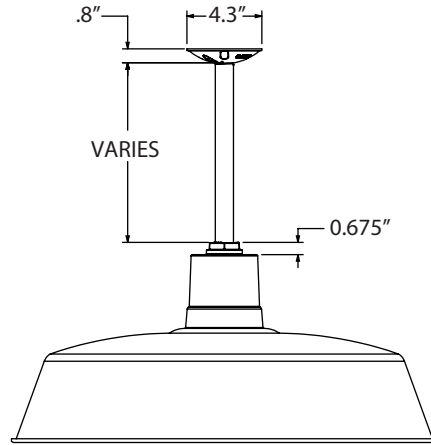
**IMPORTANT:** (1) All Powder Coat finished shades, Galvanized excluded, feature a white interior (2) Not available with 28" size shade (3) Only applicable if Cord Hung Mounting Style is selected in Section A, select NA if another Mounting Style is selected in Section A (4) Only applicable if Chain Hung Mounting Style selected in Section A, select NA if another Mounting Style is selected (5) Guard and Glass accessory reduces incandescent wattage to 100W Max and GU24 Bi-Pin to 18W Max (6) Only applicable if Stem Mounting Style is selected in Section A (7) Only applicable if Gooseneck Mounting Style is selected in Section A (8) Not available with G40 Gooseneck Mounting Option (9) Fixtures configured with GU24 sockets are non-returnable

**MOUNTING STYLE**

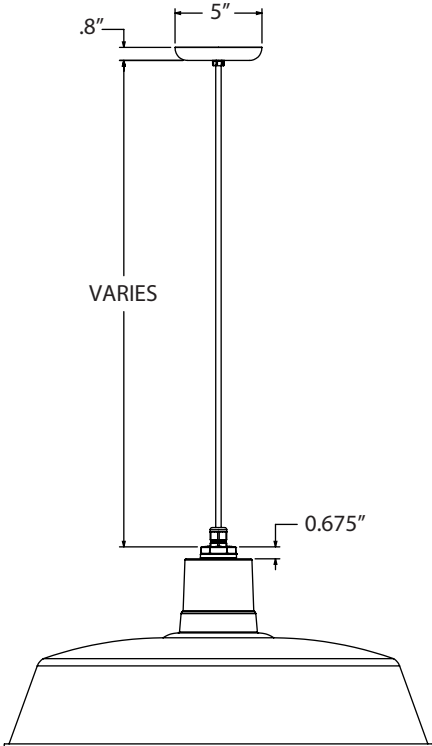
**CHAIN HUNG PENDANT (CN)**



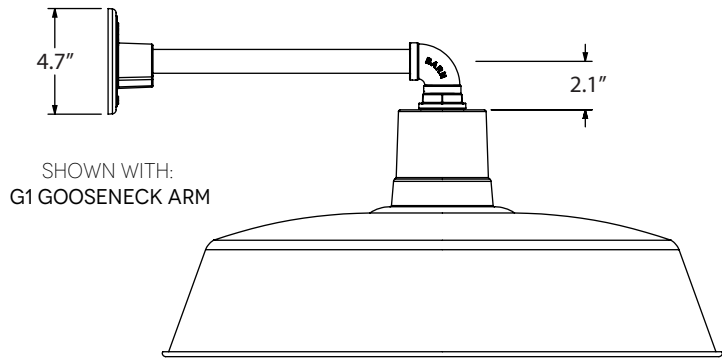
**STEM MOUNT PENDANT (S)**



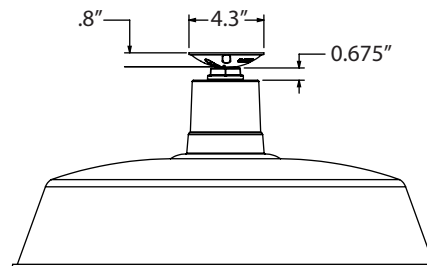
**CORD HUNG PENDANT (C)**



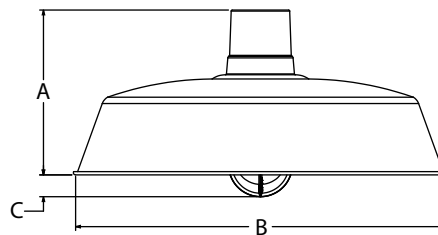
**GOOSENECK (G)**



**FLUSH (F)**



**LUMINAIRE DIMENSIONS**



SHADE CODE	HEIGHT (A)	DIAMETER (B)	EXTENSION (C)
WHS24	10.86"	24"	1.5"
WHS28	10.92"	28"	.4"

**SPECIFICATIONS**

**CERTIFICATIONS, LISTINGS & WARRANTY**

MADE IN THE USA  
Manufactured and Hand-Crafted in Our 60,000 Square Foot Facility  
Located in Titusville, FL

CSA LISTED FOR WET LOCATIONS  
Includes All Gooseneck, Flush and Stem Mounting Styles

CSA LISTED FOR DAMP LOCATIONS  
Includes All Chain and Cord Hung Mounting Styles

LIMITED WARRANTY  
For Additional Information on Our Limited Warranty, Please See  
Our Terms & Conditions

UL CERTIFICATION  
UL Listed Fixtures Available upon Request. Please Consult Factory  
for Additional Information.

**LIGHT SOURCE**

INCANDESCENT  
Medium Base E26 Socket, 120 VAC, 200W Max

COMPACT FLUORESCENT  
Bi-Pin Base GU24 Socket, 120 VAC, 23W Max

**CONSTRUCTION & FINISH**

POWDER COAT SHADE  
Hand-Spun from High Purity 3003-O Temper Aluminum

POWDER COAT FINISHES  
Polyester Powder Coat Finishes Are Electro-Statically Applied and  
Thermocured

STEM  
1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40,  
6063 Aluminum Mounting Stem. Custom Lengths Available upon  
Request.

GOOSENECK  
1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40,  
6063 Aluminum Gooseneck

CORD  
Cord Hung Pendants Include 7', 12' or 20' of Cord, Max Cord Length  
for GU24 is 12FT (Overall Cord Length is Measured from Base of  
Socket and Varies Based on Fixture)

CHAIN  
4-Gauge Chain Complete with Quick Link for On-Site Adjustments  
to Chain's Length