



**Town of Davidson
Design Review Board Regular Meeting
Town Hall and Community Center
Community Room 120
251 South Street
Wednesday, October 15, 2025 at 5:30 PM**

I. CALL TO ORDER

II. SILENT ROLL CALL

III. CHANGES TO THE AGENDA

IV. REVIEW/APPROVAL OF MINUTES

a. Meeting Minutes

Summary: The Design Review Board will consider approval of the July 16, 2025, meeting minutes.

V. OLD BUSINESS

VI. NEW BUSINESS

a. The Pines of Davidson - Maintenance Building & Community Center Addition

Summary: The Design Review Board will formally review plans for a new maintenance building and an addition to the existing community center on The Pines campus.

VII. INFORMAL FYI REVIEW

VIII. ADJOURN



**Design Review Board
Meeting Minutes
July 16, 2025**

A meeting of the Town of Davidson *Design Review Board* was held in Community Room 120 at Davidson Town Hall, 251 South Street, Davidson, NC 28036.

I. CALL TO ORDER: 5:30 p.m.

II. ROLL CALL AND DETERMINATION OF QUORUM:

Members Present signified by :

<input checked="" type="checkbox"/> Andrew Gale	<input checked="" type="checkbox"/> Erica Kennedy	<input type="checkbox"/> Nicole Perri
<input checked="" type="checkbox"/> Tom Gibbs	<input checked="" type="checkbox"/> Dave Malushizky	
<input checked="" type="checkbox"/> Rachel Johnson (Chair)	<input checked="" type="checkbox"/> Rusty Miller	

Town Representatives: Lindsay Laird, Senior Planner

III. CHANGES TO THE AGENDA: N/A

IV. REVIEW/APPROVAL OF THE MINUTES:

a. May 21, 2025, Minutes

Motion to recommend approval of minutes:

- **Motion:** Tom Gibbs
- **Second:** Erica Kennedy
- **Vote:** 6-0 (Motion Passed)

V. OLD BUSINESS: N/A

VI. NEW BUSINESS:

a. Oak Hill Family Residences

Project architects from Arnold Design Studio gave an overview of the project. Community Housing Partners proposes a 46-unit income restricted multi-family development project in two separate 3-story buildings. Building exteriors include a brick base, fiber cement lap siding, and fiber cement vertical siding panels along each apartment façade capped by a

shed side gabled roof. Each unit has a balcony/patio constructed with wood columns wrapped in fiber cement trim.

After discussion, a motion was made to recommend approval of the Oak Hill building schematic designs with the following conditions: All mechanical units shall be adequately screened in accordance with Davidson Planning Ordinance Section 4.3.1.E; Mechanical units will be located in front of bedroom windows rather than living room windows; Siding will be painted darker gray than what is shown; and Roofing will be darker gray than what is shown.

- **Motion:** Rachel Johnson
- **Second:** Dave Malushizky
- **Vote:** 6-0 (Motion Passed)

VII. INFORMAL PRELIMINARY REVIEWS: N/A

VIII. ADJOURNMENT: The meeting adjourned at 5:47 pm.

APPROVAL OF MEETING MINUTES:

Date: _____ By: _____



DESIGN REVIEW BOARD: STAFF REPORT

Date: October 15, 2025
To: Design Review Board
From: Lindsay Laird, Senior Planner
Re: The Pines of Davidson – Formal Review & Recommendation

INTRODUCTION

APPLICANT INFO

- **Project:** The Pines of Davidson – New Maintenance Building & Lobby Addition/Renovation
- **Location:** 400 Avinger Lane, Davidson, NC 28036 (Parcel ID 00703127)
- **Applicant:** The Pines of Davidson
- **Designer:** RLPS Architects
- **Planning Area(s):** Conditional

PROJECT DESCRIPTION

The Pines of Davidson proposes two projects on their campus: (1) a new two-story maintenance building in place of an existing one-story building and (2) an addition to the existing community center lobby as well as interior renovations.

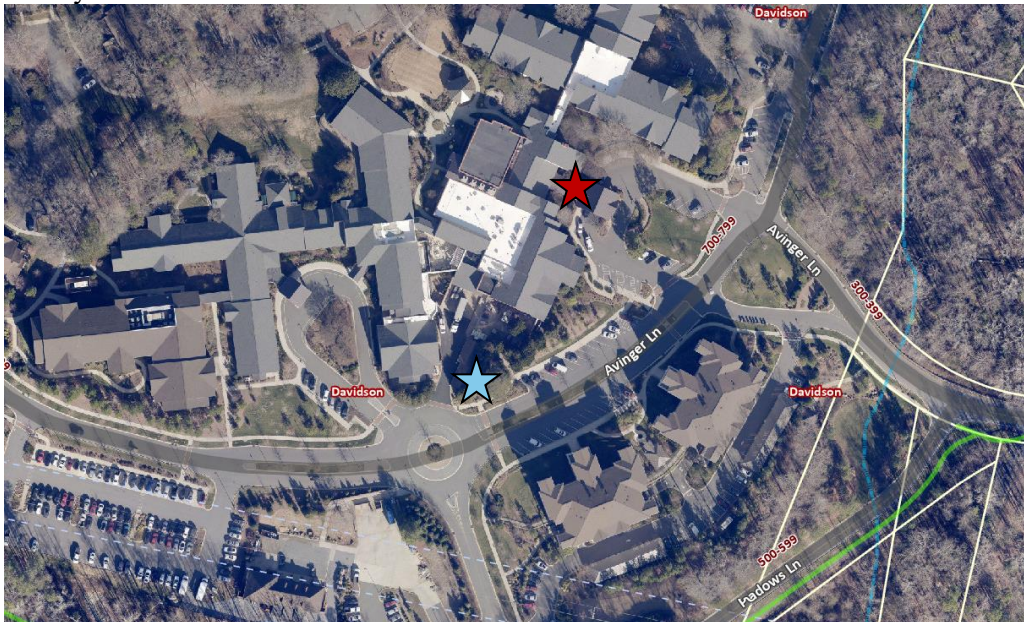


Figure 1. Pines Campus

Maintenance Building

A new two-story maintenance building will replace an existing one-story building. The project will provide more office space and storage capacity for the community's facilities group. The building will be 29'-10" to the ridge and +/- 3,425 SF. Building materials will be in keeping with the existing materials used on surrounding buildings including brick and fiber cement lap siding. Other architecture features include the following:

- Masonry base with decorative brick water table.
- Walls with full height brick also include brick sills at windows and soldier coursing at doors and windows.
- Other walls are brick on first floor transitioning to fiber cement lap siding above. A horizontal band of fiber cement trim separates the brick from siding.
- Fiber cement trim rake boards and frieze boards trim the architectural shingle roof.
- The front entrance porch has roof cover with decorative composite brackets.

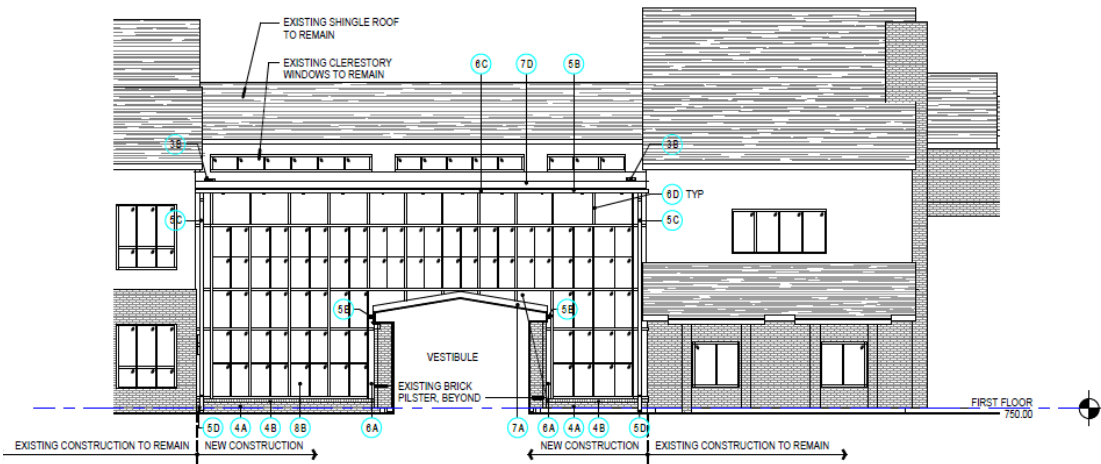
Community Center

The +/- 323 SF lobby addition will provide a larger space for residents with more natural light and visibility to exterior landscaping. The addition will include a masonry base. Walls above are fiber cement panels and curtain wall, with fiber cement battens to match the pattern of curtain wall framing

PRELIMINARY DRB FEEDBACK

- **Maintenance Building:** The western façade sets the proportions of the rest of the building facades – DRB members felt that windows could be slightly larger.
- **Community Center Addition:** Add verticality to glass.

PRELIMINARY PLANS – COMMUNITY CENTER

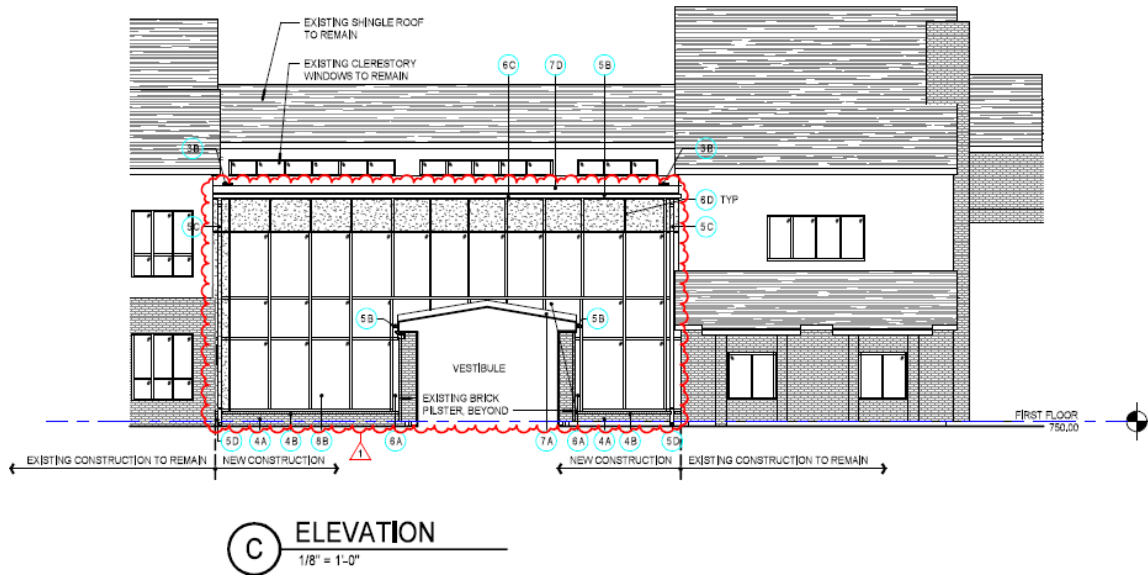


C ELEVATION
1/8" = 1'-0"



RENDERED EXTERIOR VIEW 2

REVISED PLANS – COMMUNITY CENTER





RENDERED EXTERIOR VIEW 2

PLANNING STAFF REVIEW - PRELIMINARY

Below is a summary of planning and development standards related to this proposal. Feedback requested is in *red italics*.

B. Planning Area Standards

- **2.2.1.B Permitted Uses:** Compliant
- **2.2.1.C Building Types:** Compliant
- **2.2.1.C Height:** Compliant
- **2.2.1.D Setbacks:** Compliant

C. General Site Design Standards

- **4.3.1.A Pedestrian & Vehicle Access:** Compliant
- **4.3.1.B Building Location & Orientation:** Compliant
- **4.3.1.C Building Height:** Compliant
- **4.3.1.D Fences, Hedges & Garden Walls:** NA
- **4.3.1.E Loading/Service Areas, Mechanical Equipment and Utilities:** Compliant
- **4.3.1.F Encroachments:** NA
- **4.3.1.G Development Plans with Multiple Buildings:** Compliant
- **4.3.1.H Public Spaces:** NA
- **4.3.2 Guidelines for Development in Existing Buildings:** N/A

D. General Building Design Standards

- **4.4.1 General Building Design Standards:** Compliant
- **4.4.1.A Building Height:** Compliant
- **4.4.1.B Form and Massing:** Compliant
- **4.4.1.C Façade Articulation:** *Provide feedback on whether the maintenance building and community center addition adequately articulate facades.*
- **4.4.1.D Façade Transparency:** NA
- **4.4.1.E Materials:** *Provide feedback on whether proposed materials and colors are (a) complementary to the materials already used in the neighborhood or (b) other*

characteristics such as scale, proportion, form, detailing, color and texture ensure the buildings relate to the rest of the neighborhood.

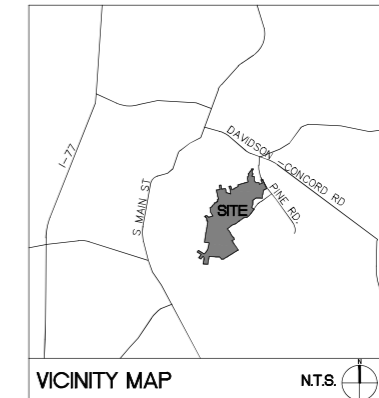
- **4.4.1.F Architectural Details:** *Provide feedback on architectural details.*
- E. **Specific Building Type Requirements – 4.5.1 Institutional:** These buildings must be designed appropriately to fit within neighborhoods as integral parts of the community. Institutional buildings serve as places of assembly. They have a sense of prominence within their respective neighborhoods
 - **4.5.1.A Scale & Architectural Sophistication:** Compliant
 - **4.5.1.B Building Arrangement:** Compliant

RESOURCES & ATTACHMENTS

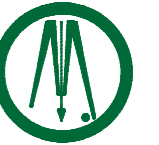
- Davidson Planning Ordinance (DPO): www.townofdavidson.org/planningordinance

THE PINES AT DAVIDSON - MAINTENANCE BUILDING

ACCELA #COM-500173
NEW MAINTENANCE BUILDING
DAVIDSON, NC



SURVEY DISCLAIMER
TR.B. PHARR & ASSOCIATES, P.A. SURVEY ISSUE DATE
NOVEMBER 21, 2024. PROVIDED BY C. CLARK NELSON,
969 E. 7TH ST., #100 CHARLOTTE, N.C. 28204 TEL.
704-376-2186



**BOLTON
& MENK**

1801 N. GRAHAM ST SUITE 320
CHARLOTTE, NC 28206
Phone: (704) 376-1555
Email: Charlotte@bolton-menk.com
www.bolton-menk.com

THE PINES AT
DAVIDSON

400 AVINGER LANE
DAVIDSON, NC 28036
704-896-1457
THE PINES AT
DAVIDSON - NEW
MAINTENANCE BUILDING
400 AVINGER LANE
DAVIDSON, NC 28036

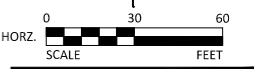
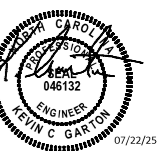
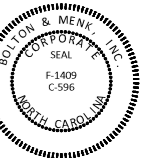
**OVERALL
PROJECT PLAN**

PROJECT NO:
24XS00186.001

REVISIONS:

SHEET INDEX

C-000	OVERALL PROJECT PLAN
C-100	DEMOLITION AND EROSION CONTROL PLAN
C-200	DIMENSION CONTROL PLAN
C-201	DIMENSION CONTROL ENLARGEMENTS AND PLANTING PLAN
C-400	GRADING AND DRAINAGE PLAN
C-410	IMPERVIOUS AREA MAP
C-500	UTILITY PLAN
C-800	SITE DETAILS
C-801	SITE DETAILS
C-802	SITE DETAILS



- North 811
Carolina**
- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
 - ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
 - SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 CFR, PART 1926, SUBPART P, OR AS AMENDED.

DATE: 07/22/25
DESIGNED BY: CXM
DRAWN BY: JTS/CXM
CHECKED BY: KCG/SGF

C-000

THIS DRAWING AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF THE ARCHITECT, AND MAY NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE NAME OF THE ARCHITECT

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK



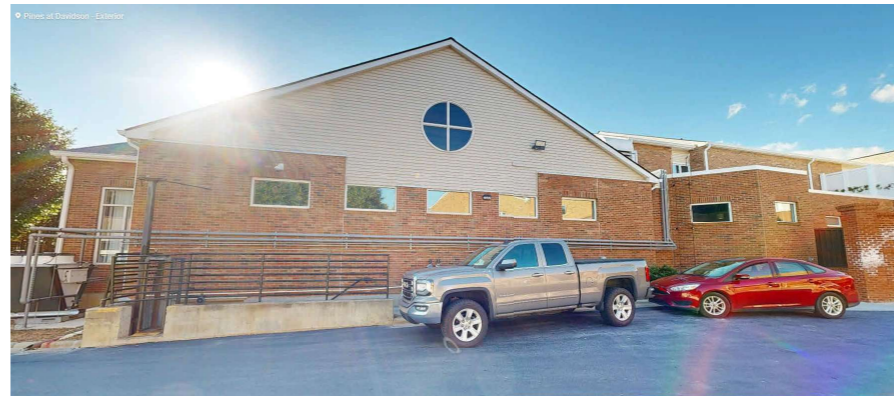
A. COMMONS BUILDING - ENTRY



B. COMMONS ENTRY - ENTERING VESTIBULE
WE ARE MATCHING THE LIGHT FIXTURE AT THE MAINTENANCE BUILDING



C. COMMONS BUILDING LOADING DOCK



D. POOL BUILDING



PROGRESS SET
- NOT FOR
CONSTRUCTION



RLPS ARCHITECTS, LLP
250 VALLEYBROOK DRIVE
LANCASTER, PA 17601
PHONE: 717-560-6501
www.rpls.com

PROJECT NAME:
ADDITIONS AND RENOVATIONS FOR THE PINES AT DAVIDSON

PROJECT ADDRESS:
400 AVINGER LN, DAVIDSON, NC 28036

REVISIONS	
NO.	DESCRIPTION

DRAWING TITLE:
EXISTING PHOTOS OF SURROUNDING BUILDINGS

SCALE: AS NOTED
DRAWN BY: LAC
COORDINATED BY: LAC
CHECKED BY:
APPROVED BY: EJE

VOLUME II
MAINTENANCE BUILDING

DRAWING NO:
A202

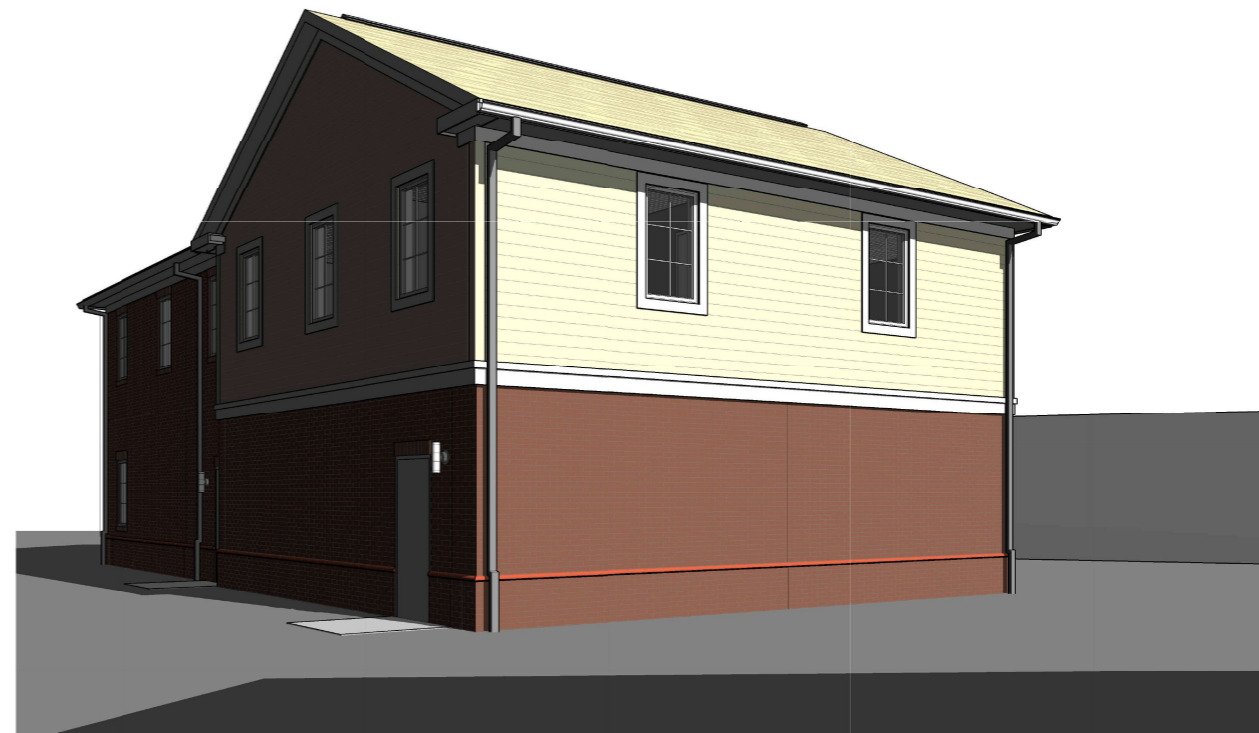
COMMISSION NO: 2024078

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK



VOL 2 - SOUTH/EAST 3D VIEW



VOL 2-EAST/NORTH 3D VIEW



VOL 2 - NORTH/WEST 3D VIEW



VOL 2 - WEST/SOUTH 3D VIEW



RLPS ARCHITECTS, LLP
250 VALLEYBROOK DRIVE
LANCASTER, PA 17601
PHONE: 717-560-6501
www.rlps.com

PROJECT NAME:
ADDITIONS AND RENOVATIONS FOR THE PINES AT DAVIDSON

PROJECT ADDRESS:
400 AVINGER LN. DAVIDSON, NC 28036

REVISIONS	
NO.	DESCRIPTION

DRAWING TITLE:
EXTERIOR ELEVATIONS

SCALE: AS NOTED
DRAWN BY: JBM
COORDINATED BY: LAC
CHECKED BY:
APPROVED BY: EJE

VOLUME II
MAINTENANCE BUILDING
DRAWING NO:
Z202

COMMISSION NO.: 2024078

**DAVIDSON PLANNING ORDINANCE
GENERAL PLANTING REQUIREMENTS:**

- ALL TREES AND SHRUBS REQUIRED BY THIS CHAPTER SHALL MEET THE PLANTING SPECIFICATIONS PROVIDED BELOW.
- QUALITY OF PLANTINGS: ALL NEW PLANT MATERIAL SHALL BE OF GOOD QUALITY, INSTALLED IN A SOUND, WORKMANLIKE MANNER AND MEET THE STANDARDS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY AMERICAN HORT.
- CONTRACTOR WARRANTY: THE CONTRACTOR SHALL WARRANT ALL NEW PLANT MATERIAL AS FOLLOWS: TWENTY-FOUR (24) MONTH WARRANTY PERIOD FOR TREES AND EIGHTEEN (18) MONTH WARRANTY PERIOD FOR ALL OTHER PLANTINGS.
- SOIL COMPACTION: INSTALLATION AND CONSTRUCTION PRACTICES SHALL BE UTILIZED WHICH PRESERVE EXISTING TOPSOIL OR AMEND THE SOIL TO REDUCE COMPACTION.
- STAKING AND GROUND COVER: ALL TREES SHALL BE PROPERLY GUYED OR STAKED AND MULCHED (3-4 INCH LAYER) IN ACCORDANCE WITH ACCEPTED PRACTICES IN THE LANDSCAPE INDUSTRY, TO PREVENT WINDS FROM LOOSENING THE ROOTS.

- CHAIN LINK FENCING: CHAIN LINK AND SIMILAR FENCING MATERIALS, IF USED, SHALL BE LANDSCAPED ON THEIR EXTERIOR SIDE WITH EVERGREEN SHRUBS, MINIMUM THREE FEET IN HEIGHT AND SIX FEET ON CENTER AT INSTALLATION.
- SIGHT DISTANCE TRIANGLES: NO PLANTS SHALL BE PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AT AN INTERSECTION, OR DRIVEWAY ACCESS POINTS UNLESS AN UNOBSTRUCTED VIEW BETWEEN 30 INCHES AND 72 INCHES IN HEIGHT IS MAINTAINED.
- OVERHEAD UTILITY LINES: PUBLIC AND PRIVATE UTILITIES WHICH INSTALL OVERHEAD AND UNDERGROUND UTILITIES SHALL BE SUBJECT TO THIS ORDINANCE AND THE INDUSTRY'S BEST PRACTICES AND TRENCHING SPECIFICATIONS. WHERE LARGE MATURING TREES ARE REQUIRED AND OVERHEAD UTILITY LINES EXIST, SMALL MATURING TREES PLANTED ONE PER 30 LINEAR FEET SHALL BE SUBSTITUTED WITH THE APPROVAL OF THE PLANNING DIRECTOR.
- ENCROACHMENT AGREEMENT: NO IRRIGATION LINES MAY BE INSTALLED WITHIN THE PLANTING STRIP, OR OTHER PORTIONS OF THE PUBLIC RIGHT-OF-WAY, WITHOUT AN ENCROACHMENT AGREEMENT EXECUTED BY THE TOWN OR NCDOT AS APPROPRIATE.

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CONTAINER	SPACING
TREES							
CFAS	2	CORNUS FLORIDA 'APPALACHIAN SPRING'	APPALACHIAN SPRING DOGWOOD	2.5" CAL.	10 - 12' HT.	B&B	PER PLAN
SHRUBS							
ACEN	24	AZALEA X 'ROBLED'	AUTUMN CHIFFON® ENCORE® AZALEA	15 - 18" SPR.	N.A.	CONT.	30" O.C
BUGV	6	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	30 - 36" SPR.	N.A.	CONT.	42" O.C
CAHS	25	CAMELLIA HIEMALIS 'SHISHIGASHIRA'	SHISHIGASHIRA CAMELLIA 'DARK PINK'	24 - 36" SPR.	N.A.	CONT.	48" O.C
HYP A	5	HYDRANGEA PANICULATA	HYDRANGEA 'LITTLE LIME'	18 - 24" SPR.	N.A.	CONT.	PER PLAN
GROUND COVERS							
AMNP	35	ANISOCAMPIUM NIPONICUM	JAPANESE PAINTED FERN	N.A.	1' HT	CONT.	18" O.C
HOPF	17	HOSTA FORTUNEI 'PATRIOT'	HOSTA	15 - 18" SPR.	N.A.	CONT.	24" O.C
ANLS	170	ANNUALS		4"-6" SPR.	N.A.	4" POT	10" O.C.
OPIA	297	OPHIPOGON JAPONICUS	MONDO GRASS	N.A.	4"-6" HT	4" POT	10" O.C.
PTGC	120	PACHYSANDRA TERMINALIS 'GREEN CARPET'	GREEN CARPET JAPANESE PACHYSANDRA	4"-6" SPR.	N.A.	4" POT	10" O.C.

PLANTING NOTES

- SIZE AND GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK", BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION, INC. (ANSI Z60.1).
- HEIGHT AND WIDTH SPECIFICATIONS INDICATED ON PLANT SCHEDULE SHALL TAKE PRECEDENCE OVER CONTAINER SIZE.
- ALL ANNUAL/PERENNIAL BEDS SHALL BE AMENDED BY THE CONTRACTOR PER THE SPECIFICATIONS AND RAISED 8" ABOVE EXISTING OR PROPOSED GRADE. CONTRACTOR SHALL PROVIDE TOPSOIL AS REQUIRED TO RAISE GRADES.
- CONTRACTOR SHALL MOUND ALL PARKING LOT ISLANDS TO 8" ABOVE BACK OF CURB AT THE CENTER OF ISLAND. CONTRACTOR SHALL SUPPLY AND PLACE ADDITIONAL TOPSOIL IF NECESSARY FOR MOUNDING AS INDICATED ON CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL MULCH ALL SHRUB BEDS WITH 3" AGED TRIPLE SHREDDED HARDWOOD BARK, MAINTAIN 2" CLEAR OF BASE OF TRUNK OR STEM. CONTRACTOR SHALL MULCH ALL ANNUAL BEDS WITH 1" PINE BARK FINES.
- ALL DISTURBED AREAS NOT INDICATED TO RECEIVE SOD OR MULCH SHALL BE SEED BY THE CONTRACTOR.
- CONTRACTOR SHALL REMOVE ALL HARD LUMPS OF CLAY, STONES OVER 1" IN DIAMETER, AND ALL CONSTRUCTION DEBRIS INCLUDING GRAVEL, ROOTS, LIMBS AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL, OR PREVENT PROPER ESTABLISHMENT AND AMEND THE SOIL. SEE PLANTING MEDIA NOTES, THIS SHEET FOR SOIL SPECIFICATION. REMOVE EXCESS CLAY SOIL/SUBGRADE AS NECESSARY TO BRING THE PLANTING SOIL TO PROPER GRADE.
- IN AREAS WHERE CONSTRUCTION GRAVEL IS EMBEDDED IN THE SOIL, CONTRACTOR SHALL REMOVE CONTAMINATED SOIL TO A DEPTH OF 8" AND FILL WITH CLEAN TOPSOIL. CONTRACTOR SHALL IMPORT TOPSOIL AT NO CHARGE TO OWNER IF REQUIRED TO FILL THESE EXCAVATIONS.
- CONTRACTOR SHALL RESEED/RESOD LAWN AREAS DAMAGED DUE TO PLANT MATERIAL INSTALLATION.
- PROVIDE A SOILS REPORT FOR RECOMMENDATIONS FOR SOIL AMENDMENTS, PREPARATION AND FERTILIZER REQUIREMENTS. AMEND SOIL AS RECOMMENDED. TILL TO A DEPTH OF 12".
- CONTRACTOR SHALL COORDINATE ALL PLANTING IN THE RIGHT-OF-WAY WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION OR LOCAL TRANSPORTATION DEPARTMENT.
- BASIN SLOPES AND SWALES TO BE SEED AND STABILIZED. SEE EROSION CONTROL AND GRADING PLANS AND NOTES.
- ANY AREA NOT DIRECTED TO RECEIVE SEED OR SOD SHALL BE MULCHED.
- ADJUSTMENTS TO THE LOCATION OF PLANT MATERIAL MAY BE REQUIRED. NOTIFY BOLTON & MENK, INC. IF DISCREPANCIES OCCUR.
- ALL STRAPPING AND TOP 1/3 OF WIRE BASKET SHALL BE CUT AWAY AND REMOVED BY THE CONTRACTOR FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. CONTRACTOR SHALL REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- LARGE MATURING TREES SHALL BE A MINIMUM 25 TO 30 FEET FROM OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO RESOLVE BEFORE PLANTING.
- INSTALLER SHALL BE RESPONSIBLE TO REPAIR OR REPLACE PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD (ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER).
- FOR SEEDED AREAS, AN ACCEPTABLE LAWN AT THE END OF THE MAINTENANCE PERIOD SHALL CONSIST OF A HEALTHY, UNIFORM, CLOSE STAND OF GRASS, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH TOTAL GRASS COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5" BY 5" INCHES, WITH AT LEAST 85% OF THE TOTAL GRASS COVERAGE CONSISTING OF THE SPECIFIED GRASS SPECIES.
- PRIOR TO INSTALLATION OF PLANT MATERIAL CONTRACTOR SHALL COORDINATE A SITE MEETING WITH LANDSCAPE ARCHITECT TO REVIEW THE FINISH GRADE CONDITIONS AND CONFIRM THE INSTALLATION OF THE SPECIFIED PLANTING SOIL OR SOIL AMENDMENTS. INSTALLATION OF ANY PLANT MATERIAL THAT OCCURS PRIOR TO THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SITE CONDITIONS WILL BE AT THE CONTRACTOR'S RISK AND THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL/REPLACEMENT/REINSTALLATION OF ANY PLANTINGS THAT NEED TO BE MOVED TO ADDRESS ANY DEFICIENCIES AT NO ADDITIONAL COST.
- CONTRACTOR SHALL COORDINATE REMOVAL AND/OR CAPPING OF ANY EXISTING IRRIGATION LINES THAT ARE IN CONFLICT WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE DESIGN OF A NEW IRRIGATION SYSTEM WITH THE OWNER AND THE CURRENT LANDSCAPE MAINTENANCE GROUP.
- MULCH: TRIPPLE SHREDDED BROWN HARDWOOD
- PEA GRAVEL: BAGGED PEA GRAVEL 1/2" IN - SEE DETAIL 8/C-800
- RIVER ROCK: PALLETIZED RIVER ROCK TENNESSEE FLAT SMALL 2 - 5 IN - SEE DETAIL 14/C-800
- STEPPING STONES: 2" THICK SQUARED TENNESSEE VARIATED BROWN SNAPPED EDGES 18 IN. X 18 IN SEE DETAIL 8/C-800
- LANDSCAPE BOULDERS: OVERALL DIMENSIONS SHALL BE APPROXIMATE 2'-4" SQ OR RECTANGULAR. CONTRACTOR TO PROVIDE PICTURES FOR APPROVAL - SEE DETAIL 14/C-801

PLANTING MEDIA NOTES

PLANTING MIX SHOULD BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. PLANTING MIX SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH A MIXTURE OF SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEIOUS MATTER. IT SHALL CONTAIN NO MAN-MADE MATERIALS UNLESS OTHERWISE SPECIFIED. PLANTING MIX SHALL NOT BE USED WHILE IN A FROZEN OR MURGY CONDITION.

UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, NEW/ADDED PLANTING MIX SHALL CONTAIN THE FOLLOWING SPECIFIED PERCENTAGES OF COMPONENTS:

CLAY (RED CLAY, WELL PULVERIZED)	MINIMUM 10% / MAXIMUM 40%
SAND (COARSE: FREE OF ROCK, 0.5-1.0MM DIAM.)	MINIMUM 20% / MAXIMUM 50%
SILT	MINIMUM 20% / MAXIMUM 50%
ORGANIC MATTER	MINIMUM 5% / MAXIMUM 10%

ORGANIC MATTER IS DEFINED AS COMPOST/HUMUS SUCH AS SAWDUST OR LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS. PERCENTAGE OF ORGANIC MATTER SHALL BE DETERMINED BY LOSS ON IGNITION OF MOISTURE FREE SAMPLES DRIED AT 65 DEGREES.

PLANTING MIX SHALL HAVE AN ACIDITY RANGE OF PH 5.5 TO 7.0.

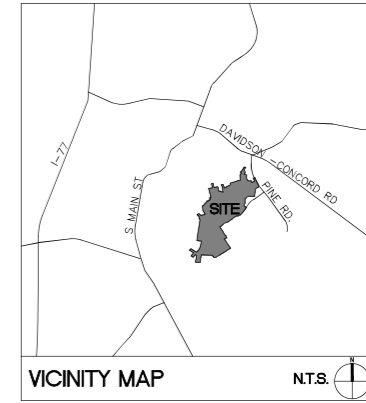
PLANTING MIX SHALL HAVE A CATION EXCHANGE CAPACITY (CEC) FROM 5 TO 25 CMOL +/KG(MEQ/100G)

PLANTING MIX SHALL HAVE NORMAL CONTENTS OF NITROGEN, PHOSPHORUS, POTASSIUM, CALCIUM, MAGNESIUM, SULFUR AND PROPER MICRONUTRIENT LEVELS. NUTRIENT LEVELS MUST SATISFY GROWING NEEDS (AS RECOMMENDED BY LAB REPORT) OF THE EXISTING OR PLANNED PLANT MATERIAL.

ALL PLANTING AREAS SHOULD BE TESTED FOR PROPER DRAINAGE. DRAINAGE SHOULD BE CORRECTED AS NECESSARY TO ENSURE PROPER TREE GROWTH AND SURVIVAL.

CRITERIA FOR UNACCEPTABLE PLANTS

- CRITERIA FOR REJECTION OF PLANTS WILL INCLUDE BUT IS NOT LIMITED TO:
- ANY DEAD OR MISSING PLANT, ANY CAUSE.
 - DEFOLIATIONS OF MORE THAN 25% OF LEAF AREA DEAD, LOST OR DROPPED FOR SHRUBS, VINES OR GROUNDCOVERS.
 - DIE BACK OF MORE THAN 25% OF THE SHRUB HEIGHT.
 - BARK WOUNDS OF MORE THAN 15% OF BARK CIRCUMFERENCE OR 2" LENGTH FOR TREES.
 - DIE BACK, DEFOLIATION OR WIND BURN OF MORE THAN 10% OF TREE CANOPY, ROOTBOUND OR CIRCLING ROOTS. UNLESS APPROVED REMEDIATION BY LA FOR CONTRACTOR TO CULTIVATE ROOTS USING APPROPRIATE TOOLS TO LOOSEN ROOTS TO PROMOTE HEALTHY ROOT ESTABLISHMENT.



VICINITY MAP N.T.S.

SURVEY DISCLAIMER
"BOLTON & MENK, INC." SURVEY ISSUE DATE JUNE 13, 2025. PROVIDED BY JOSHUA B. LEONARD, 1801 N. GRAHAM ST. SUITE 320, CHARLOTTE, N.C. 28206 TEL. 704-376-1555

LEGEND

SYMBOL	DETAIL
(Tree symbol)	TREE TO BE TRANSPLANTED -/-
(Dashed line)	LIMITS OF DISTURBANCE 0.1413 AC
(Circle with dot)	EXISTING TREE TO REMAIN
(Circle with cross)	PROPOSED TREE
(Circle with dot)	PROPOSED SHRUB
(Hatched area)	MULCH
(Grid pattern)	RIVER ROCK AT INLET/OUTLET DETAIL-14/C800 SEE NOTE NO.23
(Irregular shape)	LANDSCAPE BOULDER DETAIL-14/C801 SEE NOTE NO.25



BOLTON & MENK

1801 N. GRAHAM ST SUITE 320
CHARLOTTE, NC 28206
Phone: (704) 376-1555
Email: Charlotte@bolton-menk.com
www.bolton-menk.com

**THE PINES AT
DAVIDSON**

400 AVINGER LANE
DAVIDSON, NC 28036
704-896-1457

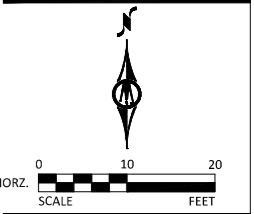
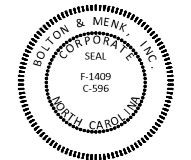
**THE PINES AT
DAVIDSON -
COMMONS EXPANSION**

400 AVINGER LANE
DAVIDSON, NC 28036

**SUPPLEMENTAL
PLANTING PLAN**

PROJECT NO:
24XS00186.002

REVISIONS:
08/06/25 - CIVIL CONSTRUCTION DOCUMENTS



DATE: 08/06/2025
DESIGNED BY: BMI
DRAWN BY: BMI
CHECKED BY: KCG

C-700

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EXTERIOR ELEVATION KEYED NOTES

2A APPROXIMATE FINISHED GRADE - SEE CIVIL DWGS	7A METAL FLASHING
3A (E) CONCRETE LANDING	7B STANDING SEAM METAL ROOF
3B CONCRETE SPLASH BLOCK	7C RIDGE VENT
4A BRICK VENEER	7D TPO ROOFING SYSTEM
4B BRICK ROOFSLOPE SILL	8A ALUMINUM CURTAIN WALL SYSTEM
4C BRICK EXPANSION JOINT	8B EXISTING DOOR TO REMAIN
5A ALUMINUM GUTTER	10A WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DWGS
5C ALUMINUM DOWNSPOUT	
5D PVC BOOT	
6A FIBER CEMENT PANEL SIDING WITH BATTERS ALIGH BATTERS WITH CURTAIN WALL FRAMING	
6B FIBER CEMENT TRIM	
6C FIBER CEMENT FASCIA	
6D FIBER CEMENT BATTERS	

EXTERIOR MATERIAL LEGEND

GUTTER & DOWNSPOUT BY METAL ROOFING SYSTEMS, INC - KYNAR 500 IN REGAL WHITE	BRICK TYPE - 1: STANDARD FACE BRICK FROM GENERAL SHALE - FULL RANGE WIRE CUT, PRODUCT CODE 8024001537
STANDING SEAM METAL ROOF METAL ROOFING SYSTEMS, INC. COLOR TO MATCH EXISTING	FIBER CEMENT SIDING - 1: 7" EXPOSURE. PROVIDE ALLURA SIDING IN COLOR TO BE APPROVED BY OWNER, ALL FIBER CEMENT TRIM TO BE WHITE

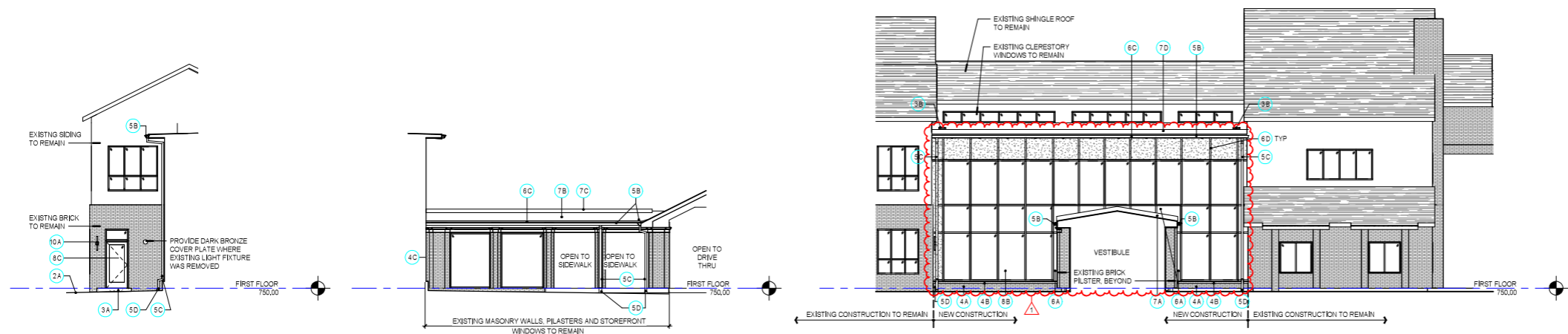
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK

rlps ARCHITECTS

RLPS ARCHITECTS, LLP
250 VALLEYBROOK DRIVE
LANCASTER, PA 17601

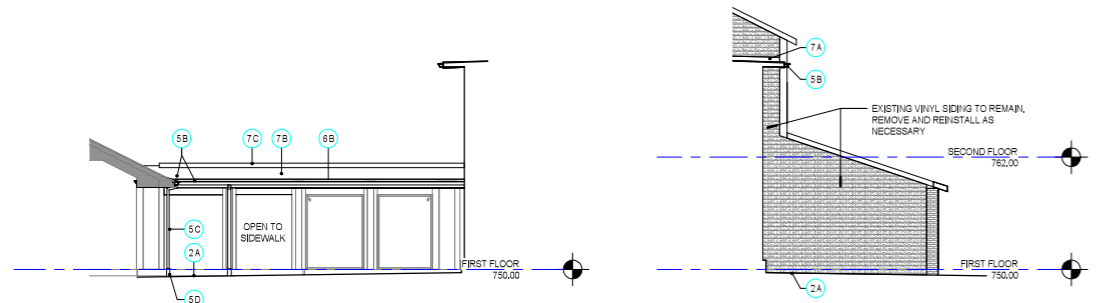
PHONE: 717-560-6501
www.rlps.com



(A) ELEVATION
1/8" = 1'-0"

(B) ELEVATION
1/8" = 1'-0"

(C) ELEVATION
1/8" = 1'-0"



(D) ELEVATION
1/8" = 1'-0"

(E) ELEVATION
1/8" = 1'-0"



EXISTING CONDITIONS
EXISTING VESTIBULE EXTERIOR



RENDERED EXTERIOR VIEW 1



EXISTING CONDITIONS (GOOGLE EARTH VIEW)

PROJECT NAME:
ADDITIONS AND RENOVATIONS FOR THE PINES AT DAVIDSON

PROJECT ADDRESS:
400 AVINGER LN. DAVIDSON, NC 28036

REVISIONS		
NO.	DATE	DESCRIPTION
1	TBD	DRB REVISIONS

DRAWING TITLE:
EXTERIOR ELEVATIONS

SCALE: AS NOTED

DRAWN BY: XXX
COORDINATED BY: LAC
CHECKED BY: JAM
APPROVED BY: EJE

VOLUME III
COMMUNITY CENTER
DRAWING NO:
A201
COMMISSION NO: 2024078



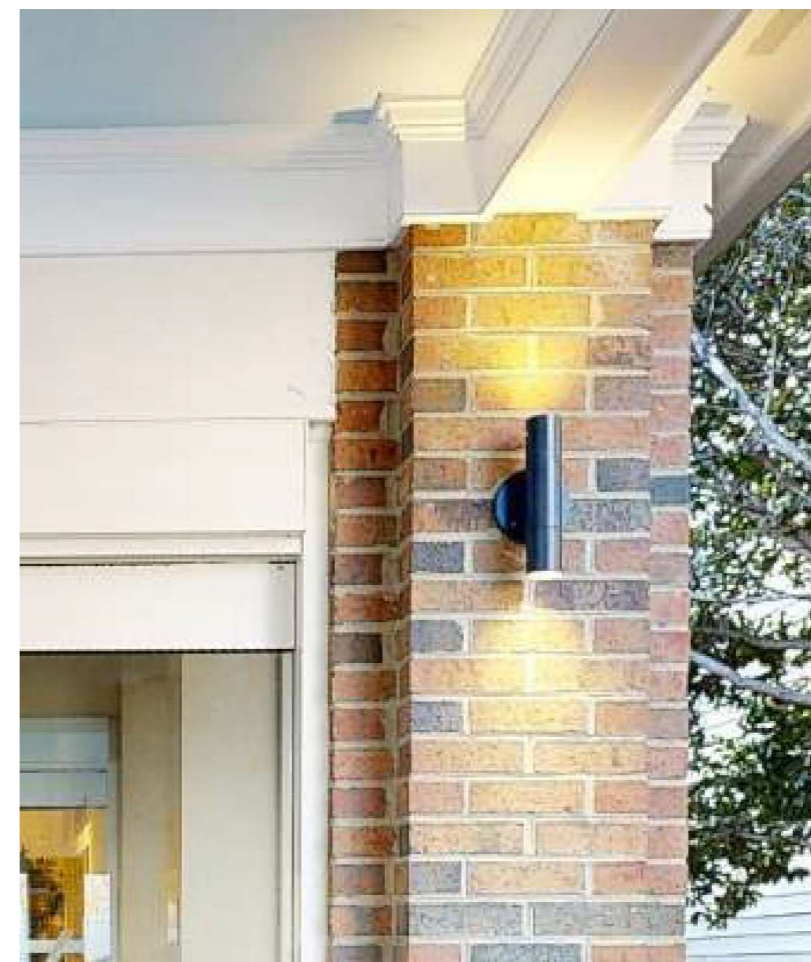
RENDERED EXTERIOR VIEW 2



EXISTING CONDITIONS (PHOTO)



RENDERED EXTERIOR VIEW 2 (WITH TREE)



EXISTING LIGHT FIXTURES TO REMAIN - NEW WILL MATCH

ADDITIONS AND RENOVATIONS FOR THE PINES AT DAVIDSON

8-22-2025