



**Town of Davidson
Design Review Board Regular Meeting
Town Hall and Community Center
Community Room 120
251 South Street
Wednesday, August 21, 2024 at 5:30 PM**

I. CALL TO ORDER

II. SILENT ROLL CALL

III. CHANGES / ADOPTION OF THE AGENDA

IV. REVIEW/APPROVAL OF MINUTES

a. Meeting Minutes

Summary: Consider approval of the 07/17/2024 DRB meeting minutes.

V. OLD BUSINESS

a. Sadler Square Facade Changes

Summary: This project was continued from the July 17, 2024, meeting. The board will consider approval of updated facade changes at Sadler Square, 201-267 Griffith Street.

b. 201 South Street Addition

Summary: This project was continued from the July 17, 2024, meeting. The board will consider approval of changes to the existing office building at 201 South Street.

VI. NEW BUSINESS

VII. INFORMAL FYI REVIEW

VIII. ADJOURN



**Design Review Board
Meeting Minutes
July 17, 2024**

A meeting of the Town of Davidson **Design Review Board** was held in Community Room 120 at Davidson Town Hall, 251 South Street, Davidson, NC 28036.

I. CALL TO ORDER: 5:35 p.m.

II. ROLL CALL AND DETERMINATION OF QUORUM:

Members Present signified by :

<input checked="" type="checkbox"/> Andrew Gale	<input type="checkbox"/> Craig Lewis (Chair)	<input checked="" type="checkbox"/> Brent Zande
<input type="checkbox"/> Tom Gibbs	<input type="checkbox"/> Dave Malushizky	<input type="checkbox"/> Nicole Perri
<input checked="" type="checkbox"/> Rachel Johnson (Vice Chair)	<input checked="" type="checkbox"/> Rusty Miller	<input checked="" type="checkbox"/> Sara Swanson

Town Representatives: Lindsay Laird (DRB Staff Liaison)

III. CHANGES TO THE AGENDA: N/A

IV. REVIEW/APPROVAL OF THE MINUTES:

a. June 26, 2024, Minutes

Motion to recommend approval of minutes:

- **Motion:** Andrew Gale
- **Second:** Brent Zande
- **Vote:** 5-0 (Motion Passed)

V. OLD BUSINESS:

a. Swimming Hole Pool House – Approval of Final Details

Witnesses sworn in by Vice Chair Rachel Johnson:

- *Lindsay Laird, Senior Planner*
- *Anthony Hersey, LaBella*
- *John Shryock, Artisan Custom Homes*

Rusty Miller and Sara Swanson were recused from the meeting as members of the Swimming Hole.

Staff introduced the project, noting that the design of the pool house was preliminarily approved by the DRB at the October 18, 2023, meeting. As part of the preliminary approval, the board required that updated plans be presented to the DRB for final approval. The project team presented updated plans with dimensions, revised materials, and gutters and downspouts shown.

After board deliberation, a motion was made to approve building schematic designs for the pool house in accordance with the Davidson Planning Ordinance, with the condition that updated plans be submitted to staff via email documenting material changes.

- **Motion:** Andrew Gale
- **Second:** Brent Zande
- **Vote:** 5-0 (Motion Passed)

VI. NEW BUSINESS:

a. Sadler Square Façade Changes

Witnesses sworn in by Vice Chair Rachel Johnson:

- *Jonathan Stewart, Piedmont Capital*
- *Robby Johnson, Robert Johnson Architects*

Staff provided an overview of the project, noting that the DRB informally reviewed the project at the February 21, 2024, and April 17, 2024, meetings. This is the first formal review of the project. Piedmont Capital proposes façade changes to the Sadler Square shopping center at 201-267 Griffith Street in Davidson, NC (Parcel ID 00325506). The existing building, originally constructed in 1979, is one story and +/-37,827 SF. Existing facades are a combination of brick and EFIS stucco.

Board members asked clarifying questions. The discussion centered on the form, massing, and articulation of building façades.

A motion was made to continue the hearing for this project to the August 21, 2024, meeting, with the request that the project team explore the following:

- *An architectural element that emphasizes/anchors the building corner on Griffith Street so that it creates a more balanced façade composition;*
- *At the corner element, increase the roof overhang or decrease the size of brackets.*

- **Motion:** Rusty Miller
- **Second:** Andrew Gale
- **Vote:** 5-0 (Motion Passed)

b. 201 South Street Addition

Witnesses sworn in by Vice Chair Rachel Johnson:

- *Anthony Hersey, LaBella*
- *Lauren Prefer, LaBella*

Staff introduced the project, noting that the DRB informally reviewed the project at the April 17, 2024, meeting. This is the first formal review of the project. Staff also noted that the existing office building is contributing to Davidson's National Register historic district. Though this property is historically significant, the Davidson Historic District Design Standards do not apply as the house is

not designated as part of the local historic district. The project proposes an addition on the Main Street/South Street façade of the building. The new addition is planned for retail use with high visibility and street access from the corner of South Street and Chairman Blake Lane.

Board members asked about proposed materials, the location and screening of trash cans, the location and screening of HVAC unit(s),

A motion was made to continue the hearing for this project to the August 21, 2024, meeting, with the request that the project team explore the following:

- *Materiality above the glazing on the addition at the corner of South Main Street and Chairman Blake Lane;*
- *Provide more information regarding site logistics in terms of trash/waste removal, mechanical units (HVAC) and associated screening;*
- *Explore brick options*

- **Motion:** Rusty Miller
- **Second:** Brent Zande
- **Vote:** 5-0 (Motion Passed)

VII. INFORMAL FYI REVIEWS: N/A

VIII. ADJOURNMENT: The meeting adjourned at 7:14 pm.

APPROVAL OF MEETING MINUTES:

Date: _____ By: _____



DESIGN REVIEW BOARD: STAFF REPORT

Date: August 21, 2024
To: Design Review Board
From: Lindsay Laird, Senior Planner
Re: Sadler Square – For approval of building schematic design

INTRODUCTION

APPLICANT INFO

- **Project:** Sadler Square Façade Improvements
- **Location:** 201-267 Griffith Street in Davidson, NC (Parcel ID 00325506)
- **Applicant:** Johnathan Stewart, Piedmont Capital
- **Designer:** Robert Johnson Architects
- **Planning Area(s):** Village Commerce

The DRB informally reviewed this project at the February 21, 2024, and April 17, 2024, meetings. The project began the formal review process at the July 17, 2024, meeting and was continued.

PROJECT DESCRIPTION

Piedmont Capital proposes façade changes to the Sadler Square shopping center at 201-267 Griffith Street in Davidson, NC (Parcel ID 00325506). The existing building, originally constructed in 1979, is one story and +/-37,827 SF. Existing facades are a combination of brick and EFIS stucco.

The applicant's stated goal is to improve the aesthetic of the existing building. The current building is functional but has not been updated in many years. Improving the aesthetic will include new façade features, paint, renewed or new storefronts, and creation of additional patio opportunities. There will be no changes to the existing building footprint and only minor height changes associated with new façade features.

EXISTING CONDITIONS



Figure 1. Partial Facade



Figure 2. Entire Building



Figure 3. Existing Facade Details



Figure 4. Existing Facade Details

PREVIOUS DESIGNS



Figure 5. 02/21/2024 FYI Review #1



Figure 6. 04/17/2024 FYI Review #2



Figure 7. 7/17/2024 Formal Review #1

DESIGN REVIEW BOARD FEEDBACK 7/17/2024

At the July meeting, DRB members voted to continue the hearing for this project to August with the request that the project team explore the following:

- An architectural element that emphasizes/anchors the building corner on Griffith Street so that it creates a more balanced façade composition.
- At the corner element, increase the roof overhang and/or decrease the size of brackets.

Plans were updated to include a decorative element at the end of the façade facing Griffith Street.

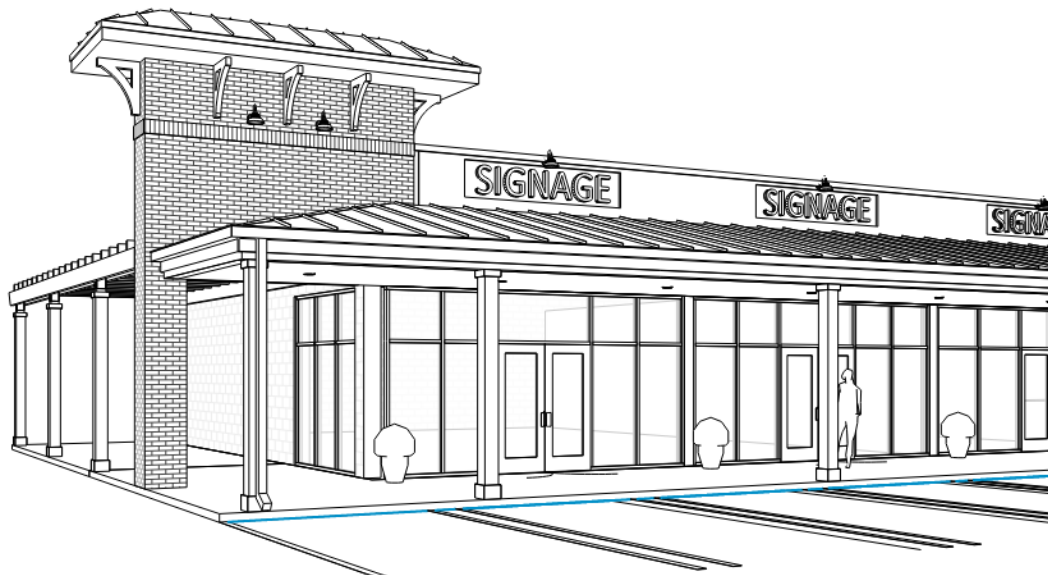


Figure 8. Sketch of Decorative Element at Griffith Street Corner

Additionally, the roof overhang was increased at the corner element.



Figure 9. 7/17/24 Corner Element Schematic Elevation



Figure 10. Current Corner Element Schematic Elevation

PLANNING STAFF REVIEW

Below is a summary of planning and development standards related to this proposal. Feedback requested/unresolved items are in *red italics*.

A. General Site Design Standards

- **4.3.1.A Pedestrian & Vehicle Access:** Compliant – existing building
- **4.3.1.B Building Location & Orientation:** Compliant – existing building
- **4.3.1.C Building Height:** N/A – no changes to building height
- **4.3.1.D Fences, Hedges & Garden Walls:** N/A
- **4.3.1.E Loading/Service Areas, Mechanical Equipment and Utilities:** Compliant – loading facilities are located to the rear of the existing building
- **4.3.1.F Encroachments:** N/A
- **4.3.1.G Development Plans with Multiple Buildings:** N/A
- **4.3.1.H Public Spaces:** N/A
- **4.3.2 Redevelopment in Existing Buildings:** Compliant – no changes proposed to street frontage, building orientation, front setback, building form, etc.

B. General Building Design Standards

- **4.4.1.A Building Height:** N/A – no changes to building height
- **4.4.1.B Form and Massing:** For large scale buildings, the front façade shall create repetitive bays, or the façade shall be divided into an asymmetrical, yet balanced, composition. Additionally, Buildings on a corner or axial termini should be designed with additional height or architectural embellishments to emphasize their location.
Do updated façade elements (i.e., canopies, parapets, brackets, etc.) create repetitive bays or divide the façade into an asymmetrical yet balanced composition?
- **4.4.1.C Façade Articulation:** Compliant – All building facades visible from a public street shall have: (1) a recognizable base and (2) a recognizable top. It appears that planters and benches will be used to emphasize the base of the building under the canopy. The top of the building is distinguished with dark metal coping along most of the façade and a parapet with decorative brackets above the anchor tenant space. Additionally, the façade is modulated through use of the metal canopy.
- **4.4.1.D Façade Transparency:** Compliant – existing building
- **4.4.1.E Materials:** Compliant – All facades visible from a public street/open space shall utilize high-quality finish materials including, but not limited to: (a) Brick, masonry, or stone; (b) Integrally tinted, textured masonry block; (c) Stucco; (d) Wood or cementitious siding; (e) Glass. Where sloped roofs and structural canopies are used, they shall be covered with: (a) asphalt shingles, (b) clay tile, (c) slate, (d) concrete tile, (e) ribbed metal, or (f) wood shakes/shingles.
- **4.4.1.F Architectural Details:** Architectural elements like openings, sills, bulkheads, columns, and other architectural features shall be used to establish human scale at the street level.
Review canopies/columns and the corner element at the existing entrance to Our Town Cinemas. Do these elements help to establish human scale?

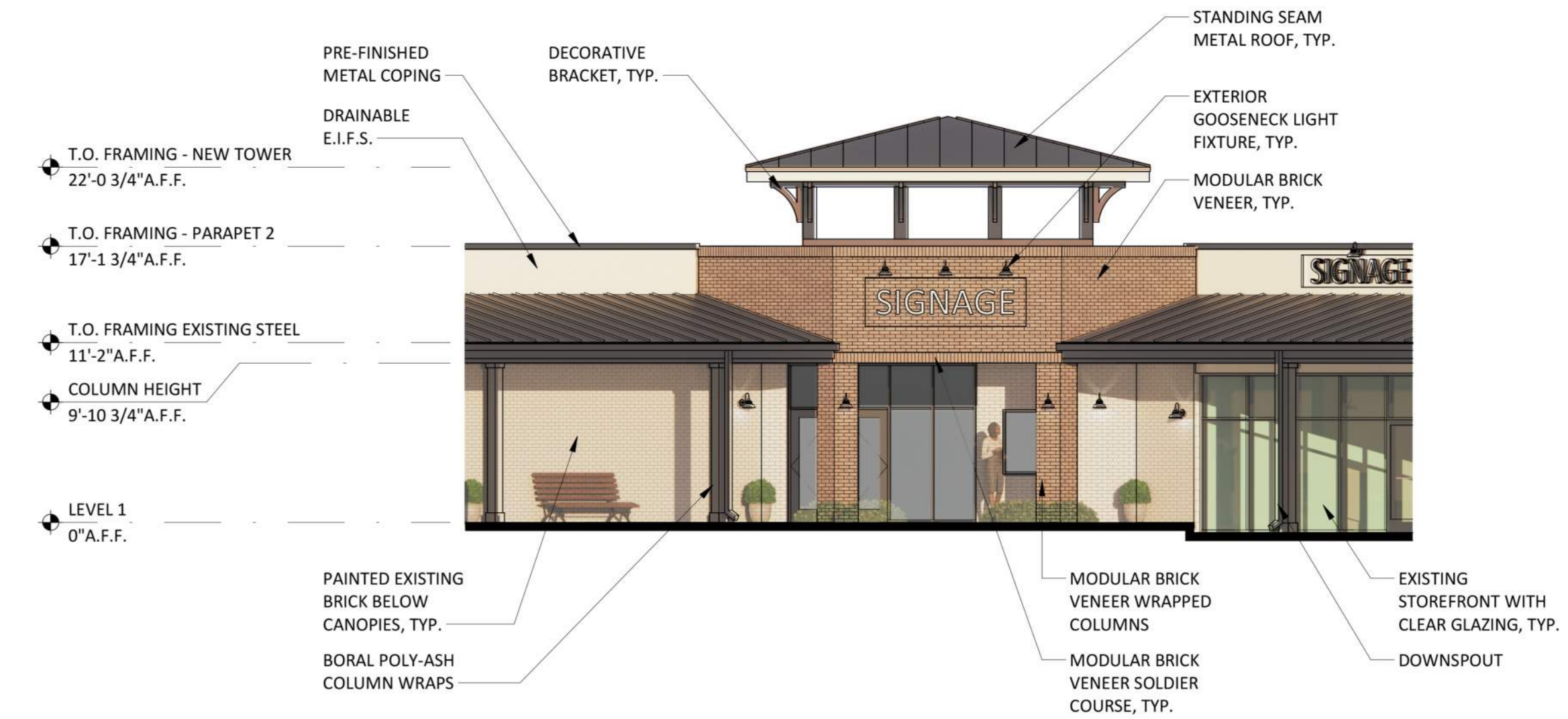
C. Specific Building Type Requirements – Storefront Building

- **4.5.6.A Retail Uses:** Compliant

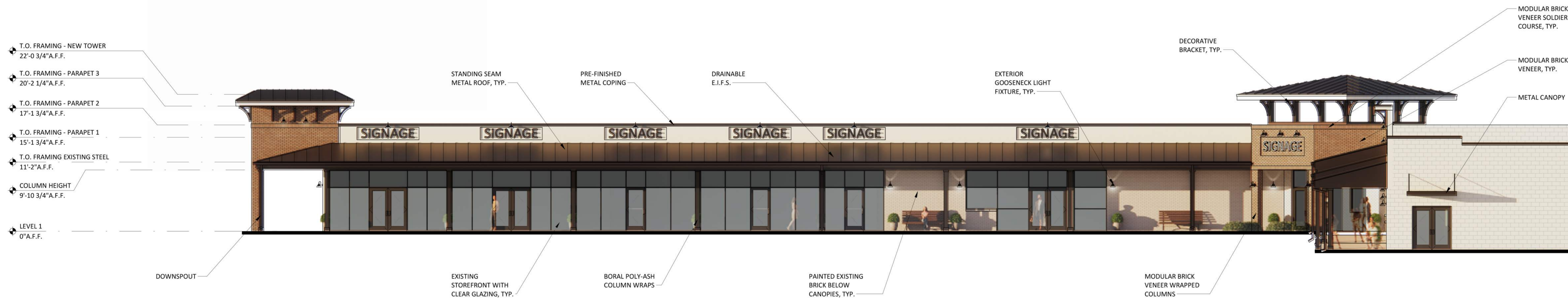
- **4.5.6.B Façade Transparency:** Compliant – existing building
- **4.5.6.C First Floor Height:** N/A
- **4.5.6.D Proportions:** Building elements shall have a dominant vertical proportion.
Do façade changes create verticality to the extent possible on this existing building?
- **4.5.6.E Active Uses Required:** Compliant – existing building
- **4.5.6.F Multiple Entrances Required:** Compliant
- **4.5.6.G Distinguish Major Entrances:** Compliant
- **4.5.6.H Principal Entrances Shall Front Street:** Compliant – existing building
- **4.5.6.I Secondary Uses:** N/A - Secondary uses/entrances may be located off a rear parking area.
- **4.5.6.J Storefront Buildings in the NS Overlay:** N/A

RESOURCES & ATTACHMENTS

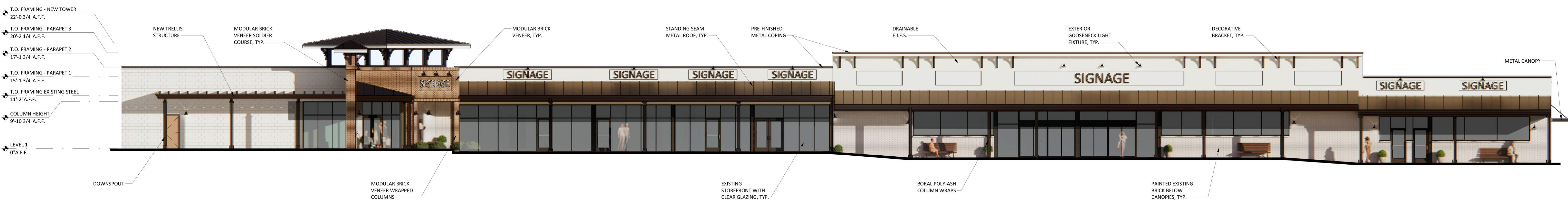
- Davidson Planning Ordinance (DPO): www.townofdavidson.org/planningordinance



3 Schematic Elevation 3
SD-2 SCALE: 1/8" = 1'-0"



2 Schematic Elevation 2
SD-2 SCALE: 1/8" = 1'-0"



1 Schematic Elevation 1
SD-2 SCALE: 1/8" = 1'-0"

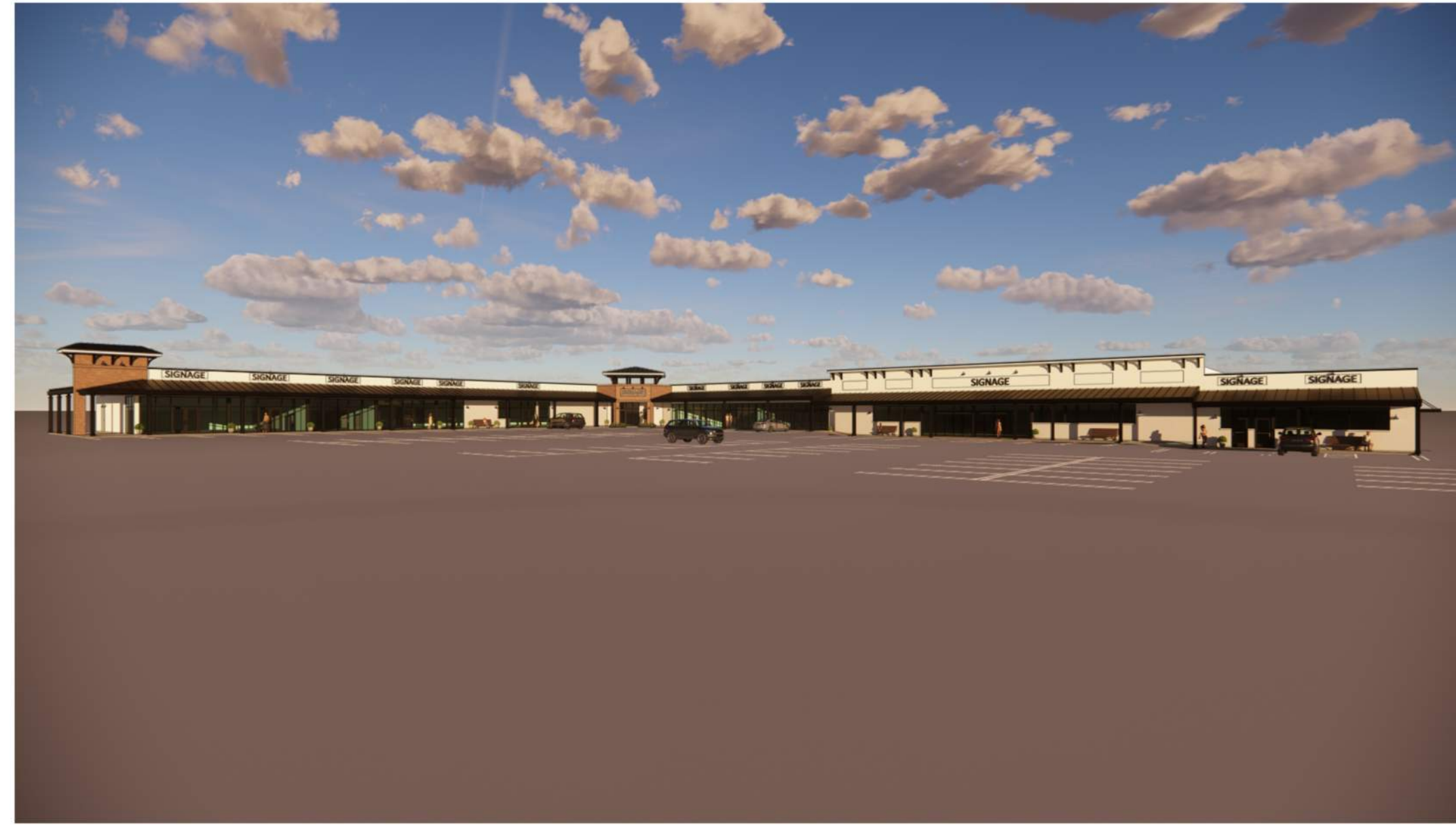
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SADLER SQUARE - DAVIDSON, NC

PROPOSED ELEVATIONS - RJA PROJECT #2362 - 07.30.2024



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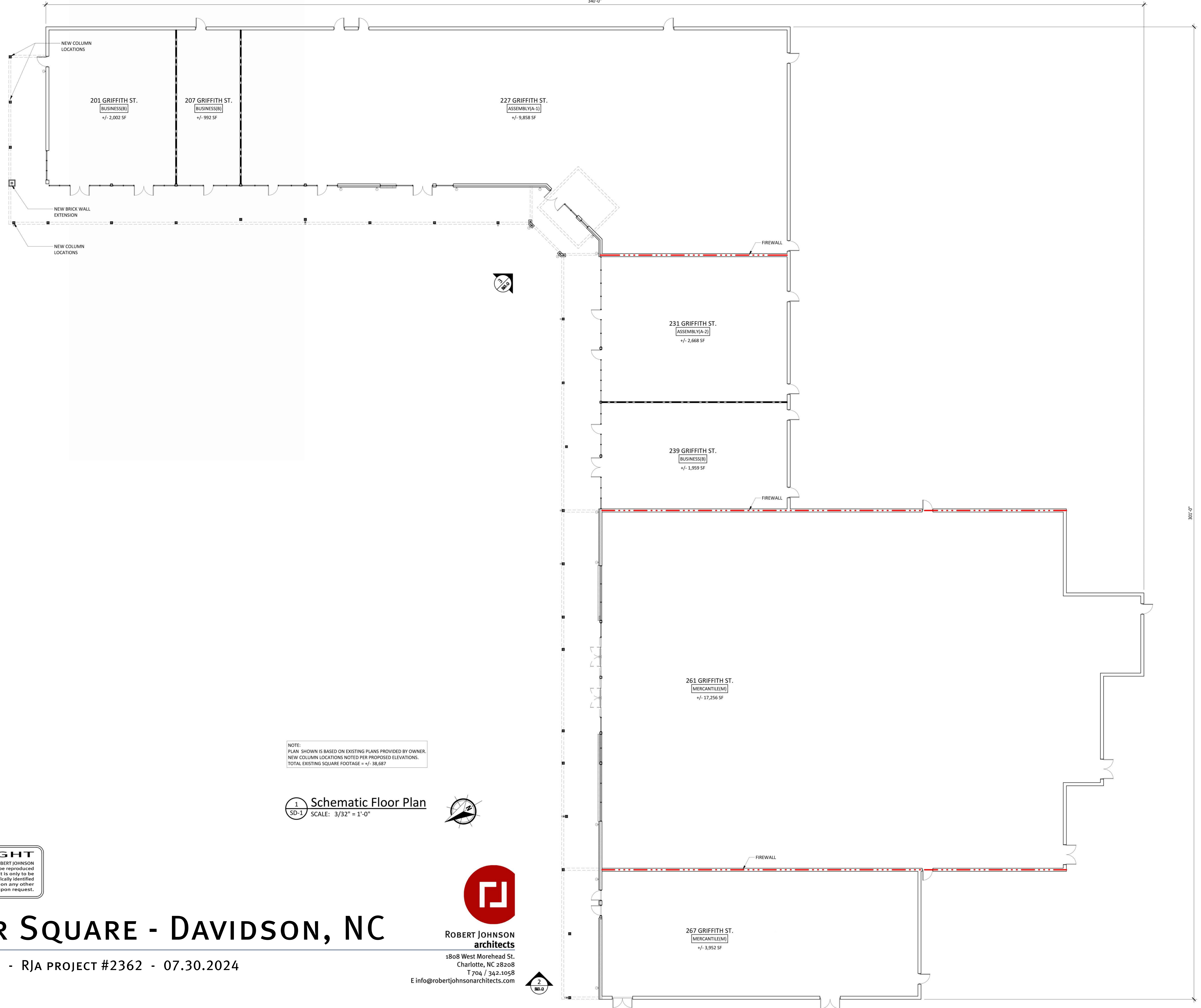
SADLER SQUARE - DAVIDSON, NC

PROPOSED PERSPECTIVES - RJA PROJECT #2362 - 07.30.2024



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NOTE:
 PLAN SHOWN IS BASED ON EXISTING PLANS PROVIDED BY OWNER.
 NEW COLUMN LOCATIONS NOTED PER PROPOSED ELEVATIONS.
 TOTAL EXISTING SQUARE FOOTAGE = +/- 38,687

1 Schematic Floor Plan
 SD-1 SCALE: 3/32" = 1'-0"



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SADLER SQUARE - DAVIDSON, NC

SCHEMATIC PLAN - RJA PROJECT #2362 - 07.30.2024



DESIGN REVIEW BOARD: STAFF REPORT

Date: August 21, 2024
To: Design Review Board
From: Lindsay Laird, Senior Planner
Re: 201 South Street – For approval of building schematic design

INTRODUCTION

APPLICANT INFO

- **Project:** 201 South Street Addition
- **Location:** 201 South Street (Parcel ID 00701328)
- **Applicant:** Rudderr, LLC (Karl Plattner, Plattner Builders)
- **Designer:** LaBella Associates
- **Planning Area(s):** Village Center

The DRB informally reviewed this project at the April 17, 2024, meeting. The project began the formal review process at the July 17, 2024, meeting and was continued.

The existing office building at 201 South Street is contributing to Davidson’s National Register historic district. The National Register historic district designation includes the following:

Dr. J. Wilson McConnell Office
201 South Street, ca. 1926, Contributing Building

One story, single pile, brick veneered office; flat roof with parapet; gabled entry porch with square wooden posts on north elevation; nine-over-nine windows.

Though this property is historically significant, the Davidson Historic District Design Standards do not apply as the house is not designated as part of the local historic district.

PROJECT DESCRIPTION

The project proposes to keep the existing building at 201 South Street and construct an addition on the Main Street/South Street façade. The new addition is planned for retail use with high visibility and street access from the corner of South Street and Chairman Blake Lane. Proposed building materials include gray painted brick, black fiber cement panels on the connection

between the historic building and new addition, black exterior windows and doors, and black gooseneck exterior light fixtures. Wood clad panels are no longer shown above the main entrance to the addition.

EXISTING CONDITIONS



Figure 1. View from Chairman Blake Ln



Figures 2 & 3. View from South Street Corner

PREVIOUS DESIGNS



Figure 4. 4/17/24 View from South Main Street



Figure 5. 4/17/24 View from South Street



Figure 6. 4/17/24 View from Chairman Blake Lane



Figure 7. 7/17/24 View from Chairman Blake Lane



Figure 8. 7/17/24 View from South Street



Figure 9. 7/17/24 Corner View of Chairman Blake Lane & South Street

DESIGN REVIEW BOARD FEEDBACK 7/17/2024

At the July meeting, DRB members voted to continue the hearing for this project to August with the request that the project team explore the following:

- Materiality above the glazing on the addition.
- Provide more information regarding site logistics in terms of trash/waste removal, mechanical units (HVAC), and associated screening.
- Explore brick options.

Plans were updated to remove faux wood above glazing on the addition and instead utilize fiber cement panels in this location (to match the addition connector on the north elevation).



Figure 10. 7/17/24 Materials



Figure 11. Current Materials

Trash and mechanical units are now called out on the first-floor plan (Sheet 7 of plan set).

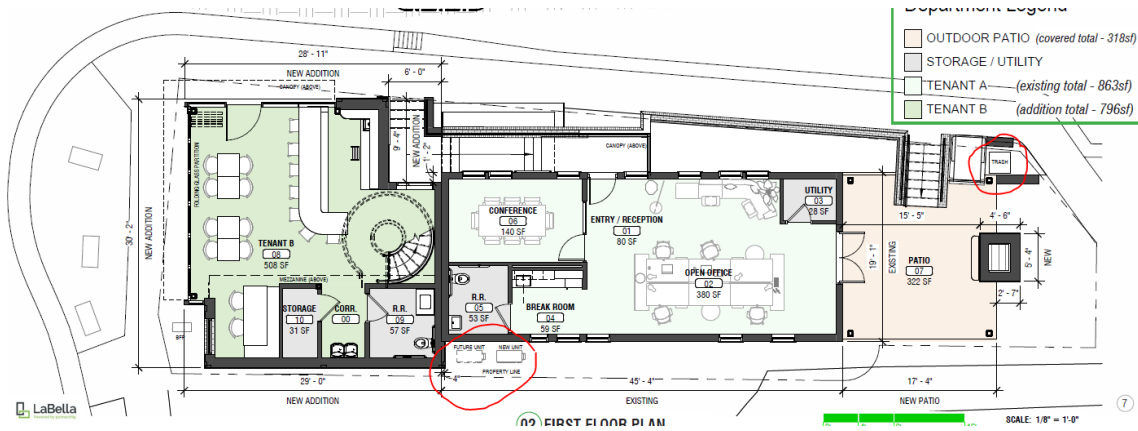


Figure 12. Current First-floor Plan w/ Trash & Mechanical Units Shown

Additionally, a brick header was added above the first-floor window on the west elevation.

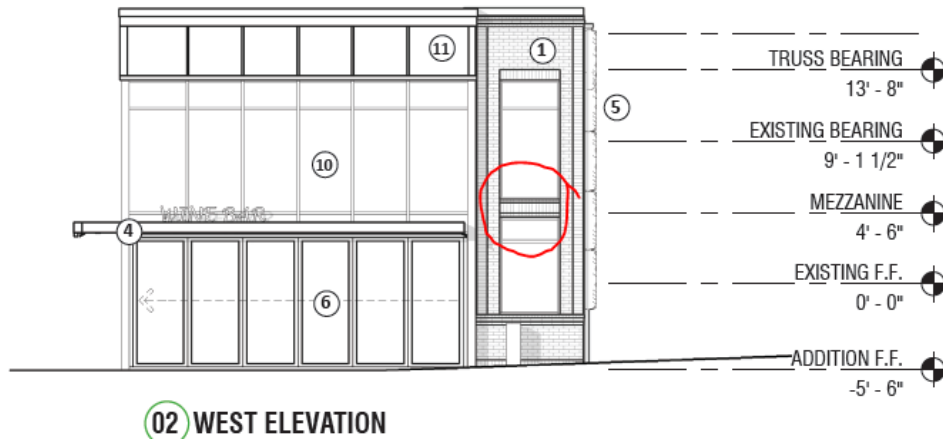


Figure 13. Current West Elevation

PLANNING STAFF REVIEW

Below is a summary of planning and development standards related to this proposal. Feedback requested/unresolved items are in *red italics*.

A. 2.2.1 Village Center Planning Area Standards

- **2.2.1.B Permitted Uses:** Compliant – retail, primary uses are permitted in the VC planning area
- **2.2.1.C Permitted Building Types:** Compliant
- **2.2.4.D Setbacks:** Compliant

B. 4.3 General Site Design Standards

- **4.3.1.A Pedestrian & Vehicle Access:** Compliant – primary pedestrian entry faces the corner of South Street/S Main Street
- **4.3.1.B Building Location & Orientation:** Compliant – existing building
- **4.3.1.C Building Height:** Compliant – existing 1 story building
- **4.3.1.D Fences, Hedges & Garden Walls:** There are existing retaining walls on site. Any new retaining walls will be reviewed as part of the site construction document submittal for compliance with the Davidson Planning Ordinance.
- **4.3.1.E Loading/Service Areas, Mechanical Equipment and Utilities:** Mechanical equipment (except small items such as fans and vents), utility meters, storage areas, solid waste containers, transformers, generators, HVAC units and similar features, or other utility hardware on the building, roof, or ground shall be screened from public view with materials similar to the structure; OR they shall be so located as not to be visible from a primary fronting public street. In certain cases, screening using natural materials may be preferable.
Confirm that all mechanical equipment and solid waste containers will be adequately screened from public view.
- **4.3.1.F Encroachments:** N/A
- **4.3.1.G Development Plans with Multiple Buildings:** N/A
- **4.3.1.H Public Spaces:** N/A

C. 4.3.2 Redevelopment in Existing Buildings: This section is intended to ensure the compatibility of infill development and redevelopment to surrounding neighborhoods.

- **4.3.2.D Street Frontage:** Compliant
- **4.3.2.E Rhythm of Development Along the Street:** Established building rhythms along street frontages should be continued. Larger buildings can be integrated into smaller-scale neighborhoods by creating repetitive bays with facade articulation.
Are established building rhythms along street frontages continued with this building addition?
- **4.3.2.F Building Orientation:** Compliant
- **4.3.2.G Front Setback Patterns:** Compliant – the building addition setback is compatible with surrounding commercial buildings in downtown with zero-foot front setbacks
- **4.3.2.H Building Form:** Massing, proportion, scale, setbacks, spaces between buildings, and their relative positions should be used to integrate new development into existing streetscapes.
Is the building addition adequately integrated into existing streetscapes?
- **4.3.2.I Density:** Compliant - Density should increase closer to mixed use and commercial nodes.
- **4.3.2.J Building Design:** Buildings should be designed to respect the existing built environment, but not be explicit reproduction of past historical styles.
Do the proposed changes respect the existing built environment?

D. 4.4 General Building Design Standards

- **4.4.1.A Building Height:** Compliant (see also 4.7 Renovation of Existing Structures)
- **4.4.1.B Form and Massing:** Buildings on a corner or axial termini should be designed with additional height or architectural embellishments to emphasize their location.
Do the proposed changes adequately emphasize the location of the building at the corner of South Street/S Main Street?

- **4.4.1.C Façade Articulation:** Compliant –All building facades visible from a public street shall have: (1) a recognizable base and (2) a recognizable top. The base of the addition has a brick water table, while the top of the addition is distinguished with wooden paneling.
- **4.4.1.D Façade Transparency:** Compliant – glazing calculation provided on sheet 11
- **4.4.1.E Materials:** Building materials and colors shall be: (a) Complementary to the materials already being used in the neighborhood, or (b) if dissimilar materials are proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.

Are proposed building materials complementary to the materials already in use in the neighborhood?

- **4.4.1.F Architectural Details:** Architectural elements shall be used to establish human scale at the street level. Fenestration shall be architecturally related to the style, materials, colors, and details of the building. The main entry to a building should be emphasized at the street level.

Do architectural elements help to establish human scale at the street level?

Is fenestration architecturally related to the style, materials, colors, and details of the building?

Is the main entry emphasized at the street level?

E. 4.5 Specific Building Type Requirements – Storefront Building

- **4.5.6.A Retail Uses:** Compliant
- **4.5.6.B Façade Transparency:** Compliant – glazing calculation provided on sheet 11
- **4.5.6.C First Floor Height:** Compliant – height of addition provided on sheet 11
- **4.5.6.D Proportions:** Building elements shall have a dominant vertical proportion.
Does the proposed addition have a dominant vertical proportion?
- **4.5.6.E Active Uses Required:** Compliant
- **4.5.6.F Multiple Entrances Required:** Compliant
- **4.5.6.G Distinguish Major Entrances:** Compliant
- **4.5.6.H Principal Entrances Shall Front Street:** Compliant
- **4.5.6.I Secondary Uses:** N/A
- **4.5.6.J Storefront Buildings in the NS Overlay:** N/A

- F. **4.7 Renovation of Existing Structures:** Compliant – Changing or rebuilding 50 percent or more of any façade of a building requires the entire building to comply with the design regulations that are specific to facades, except the requirement for two-story buildings.

RESOURCES & ATTACHMENTS

- Davidson Planning Ordinance (DPO): www.townofdavidson.org/planningordinance
- Davidson National Register Historic District: [Designation Report](#)



Plattner Builders Office Renovation

Design Review Board Application
July 24th, 2024

201 South Street,
Davidson, NC 28036

On the intersection of
Chairman Blake Ln & South St

PROJECT TEAM
President of Plattner Builders | Karl Plattner
Architectre | LaBella Associates

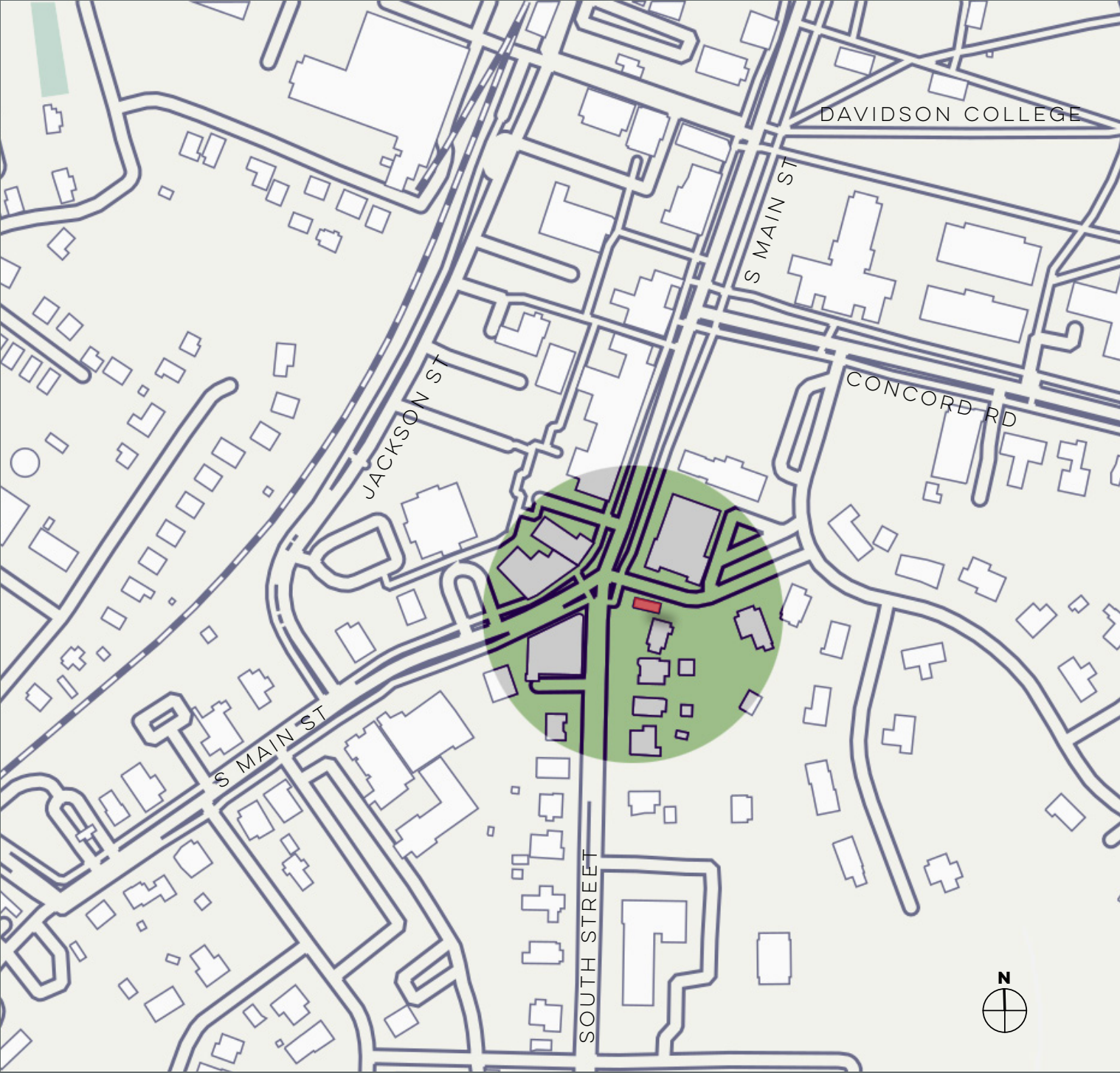
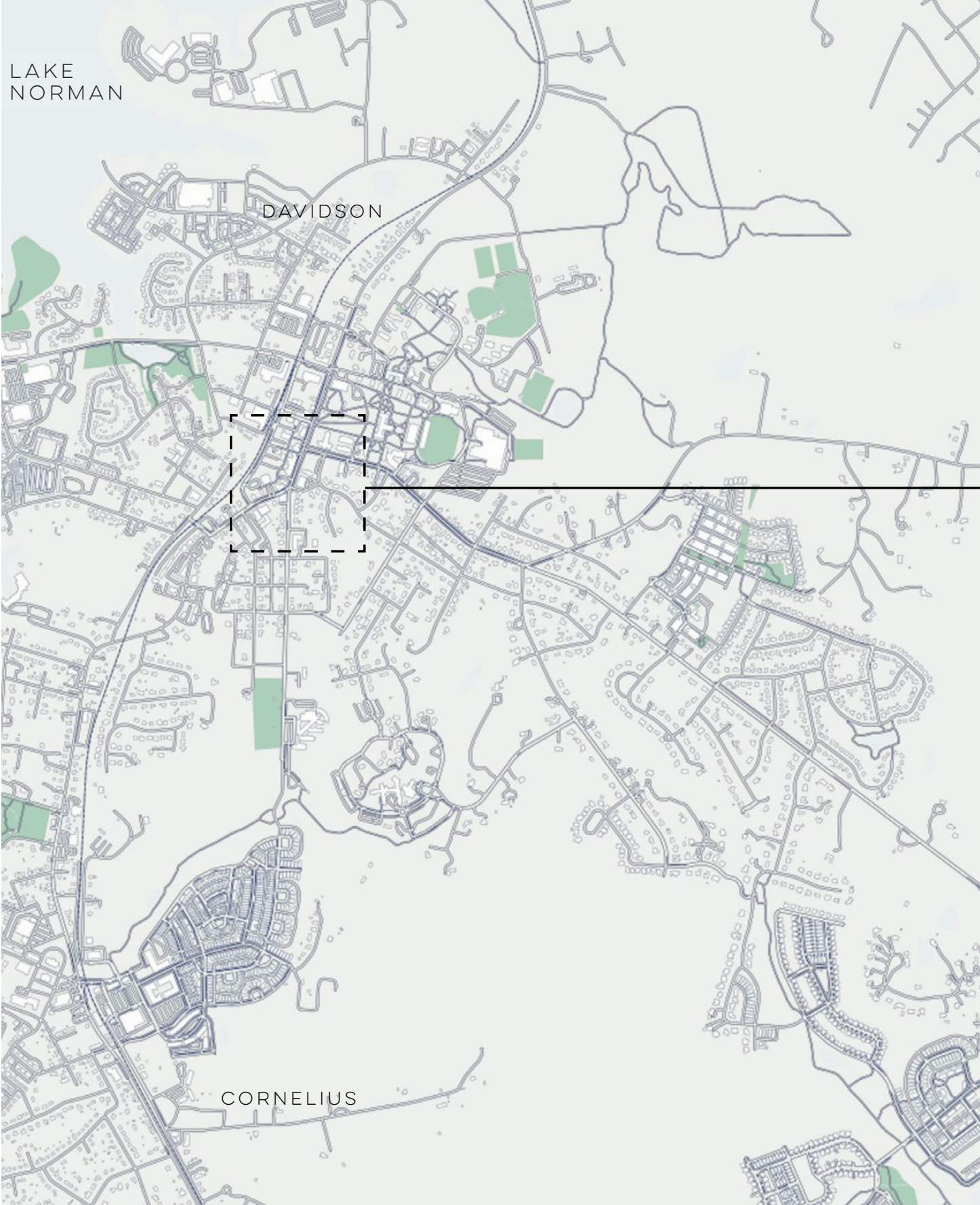




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PROJECT LOCATION | VICINITY MAP



ADJACENT CONTEXT



Site is in the middle of bustling town center at the intersection of Chairman Blake Lane and South Street meets South Main St.



2 story masonry buildings are commonly found in the neighborhood with shared characteristics of bright colors, window awnings, and welcoming storefronts.



PROJECT NARRATIVE - Statement of compliance

Project at 201 South Street is downtown Davidson is an opportunity to revitalize the existing structure and expand on this prominent parcel. The project proposes to keep the existing single story brick building and retaining walls as close to original as possible to preserve the history of the building and site. The existing structure will be renovated for office use.

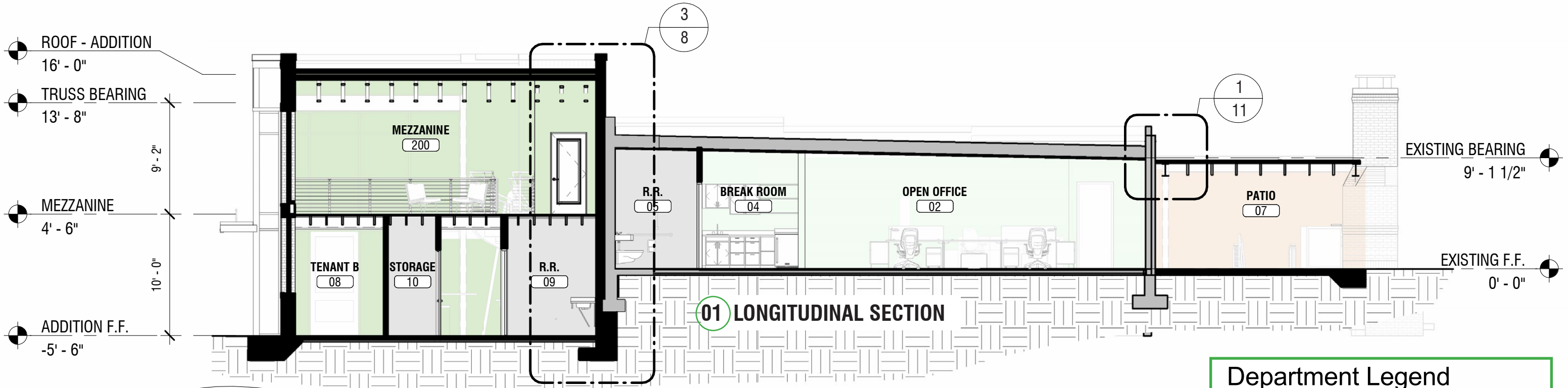
This project is proposing a modest addition to the facade facing South/Main Street which will bring the building expansion to an accessible street level relationship. The new structure is proposed as retail use with visibility and street access from the corner of South Street and Chairman Blake Lane. The addition structure, while a double height mass as presented from South/Main will carry a similar roof height as the existing structure due to the existing grade change.



PROPOSED SITE PLAN - LANDSCAPE CONCEPT

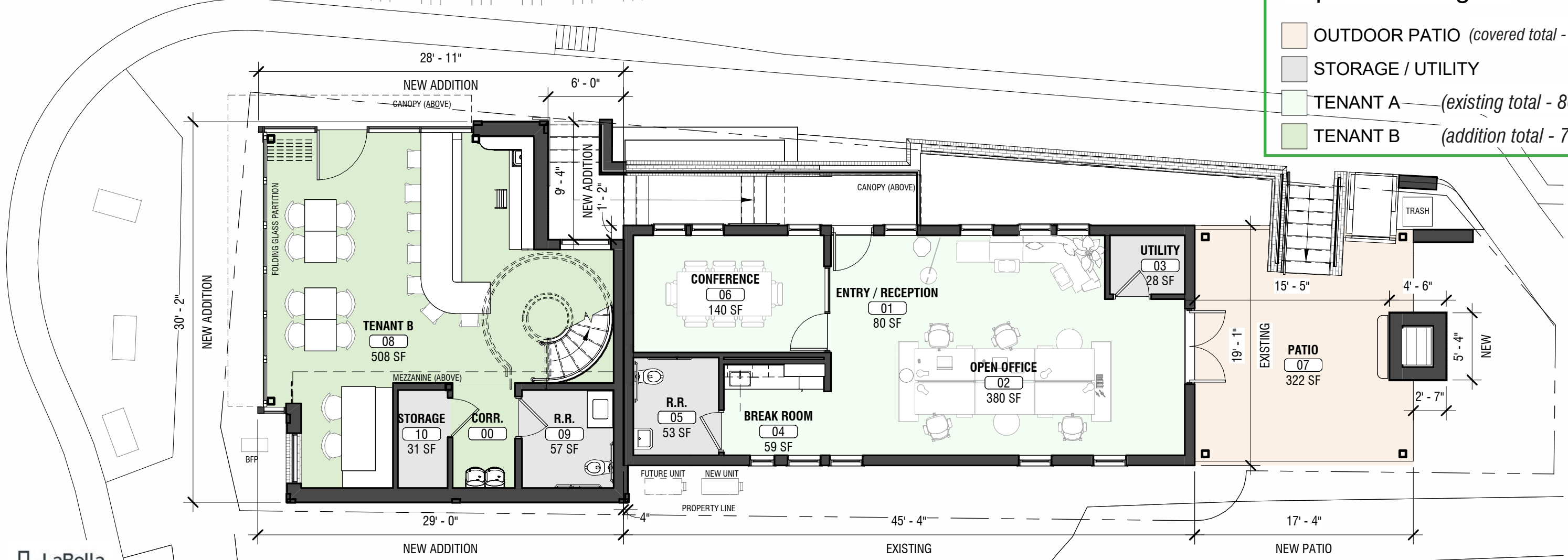


FIRST FLOOR PLAN & BUILDING SECTION



Department Legend

- OUTDOOR PATIO (covered total - 318sf)
- STORAGE / UTILITY
- TENANT A (existing total - 863sf)
- TENANT B (addition total - 796sf)



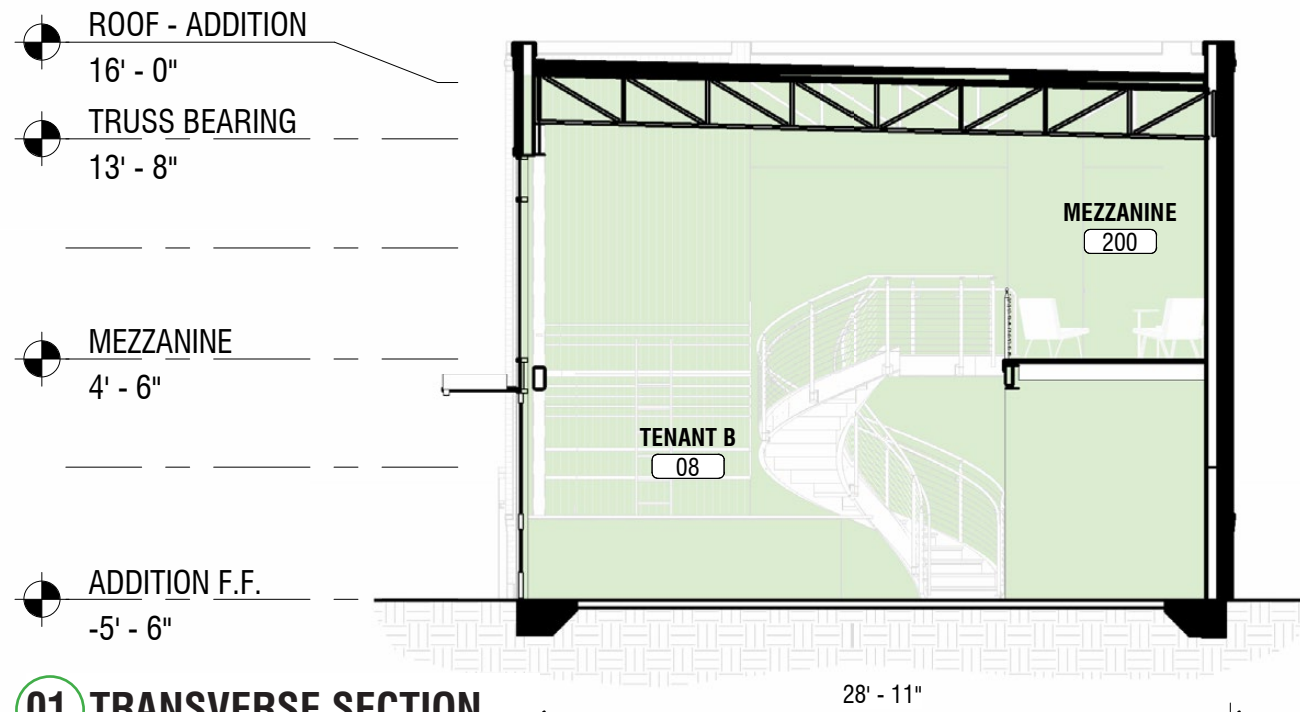
02 FIRST FLOOR PLAN



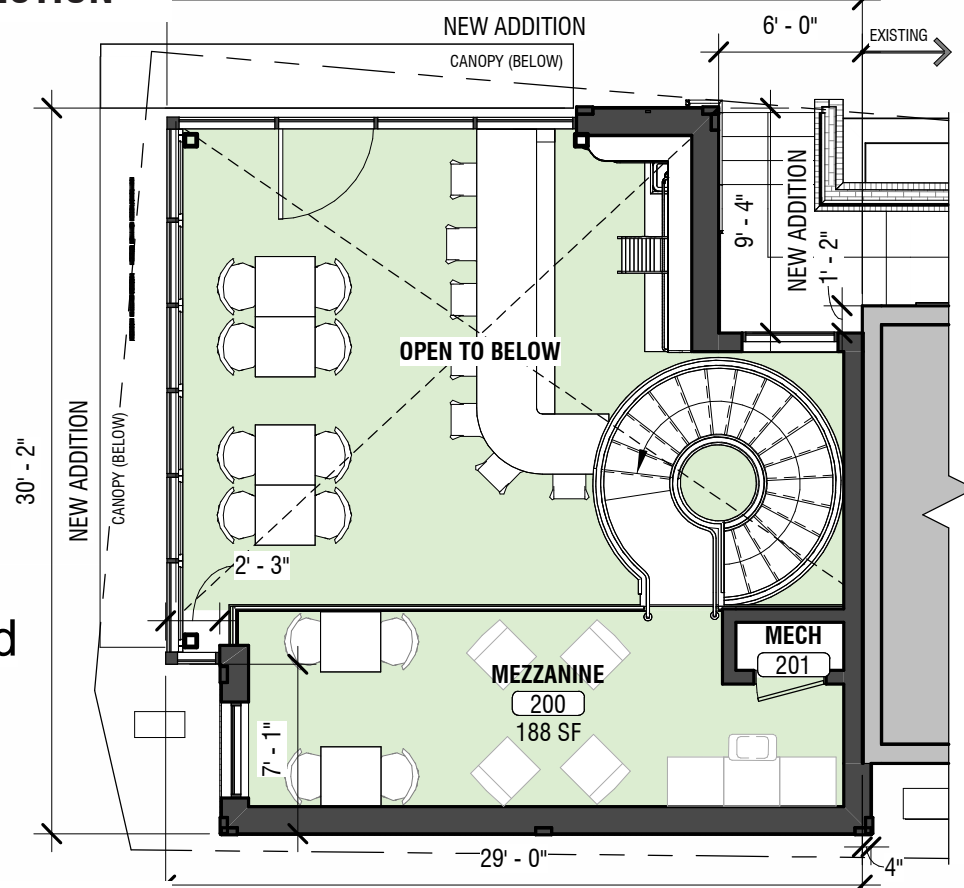
SCALE: 1/8" = 1'-0"

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MEZZANINE FLOOR PLAN & SECTIONS



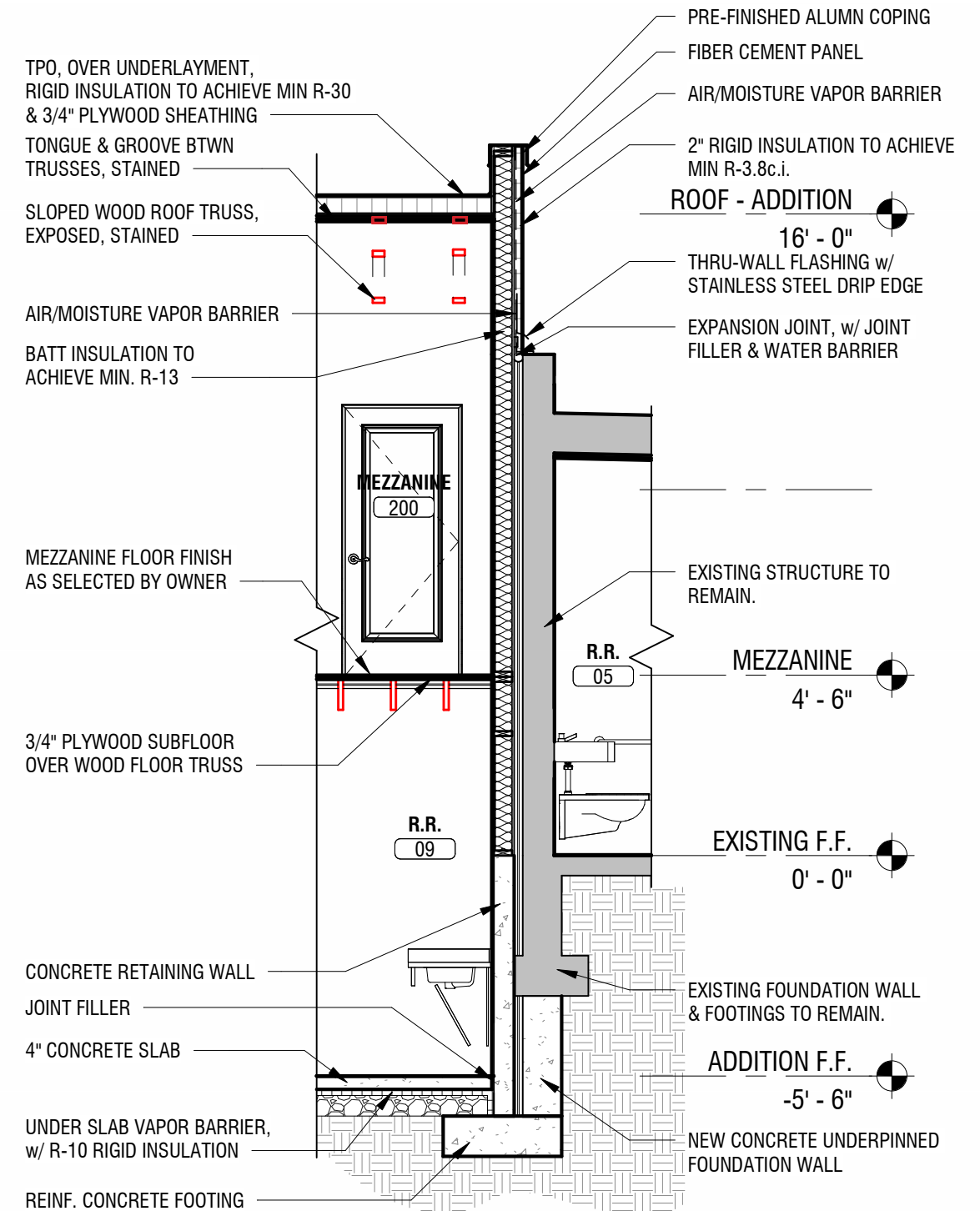
01 TRANSVERSE SECTION



02 MEZZANINE FLOOR PLAN

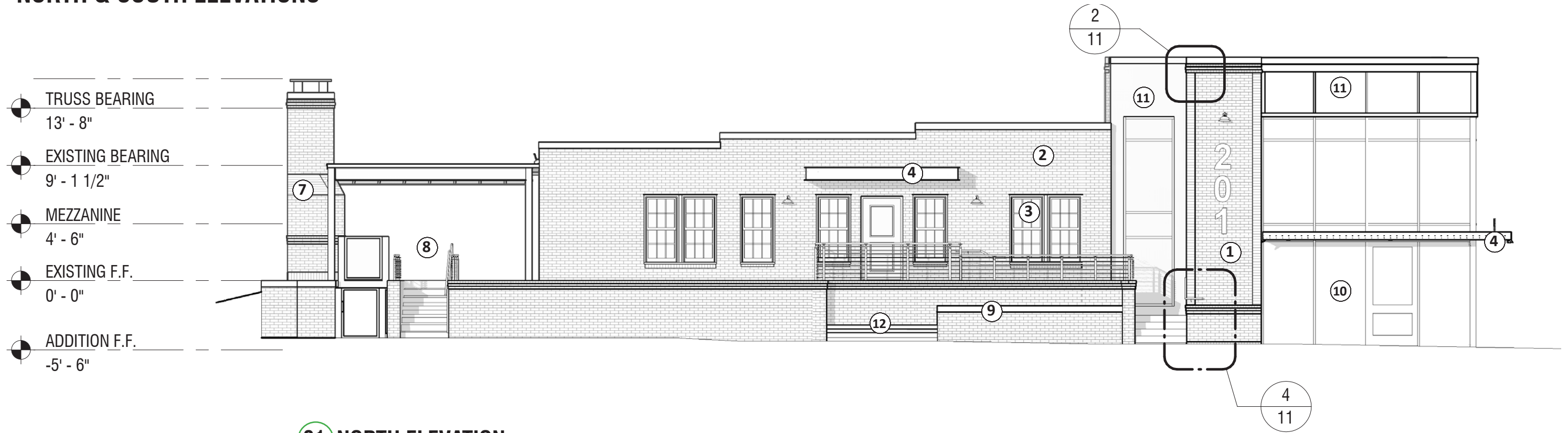
Department Legend

TENANT B



03 WALL SECTION AT EXISTING TO NEW

NORTH & SOUTH ELEVATIONS



01 NORTH ELEVATION

- ① NEW Painted Brick
- ② EXISTING Painted Brick
- ③ EXISTING Window to be replaced
- ④ NEW Canopy
- ⑤ NEW Planter Wall Feature
- ⑥ NEW Folding Glass Wall System
- ⑦ NEW Outdoor Fireplace
- ⑧ NEW Outdoor Patio
- ⑨ NEW Retaining Wall with Planter
- ⑩ NEW Curtain Wall
- ⑪ NEW Fiber Cement Panels & Trim
- ⑫ NEW Wood Built in bench
- ⑬ NEW Downspouts



02 SOUTH ELEVATION



SCALE: 1/8" = 1'-0"

EAST & WEST ELEVATIONS, MATERIAL SELECTIONS

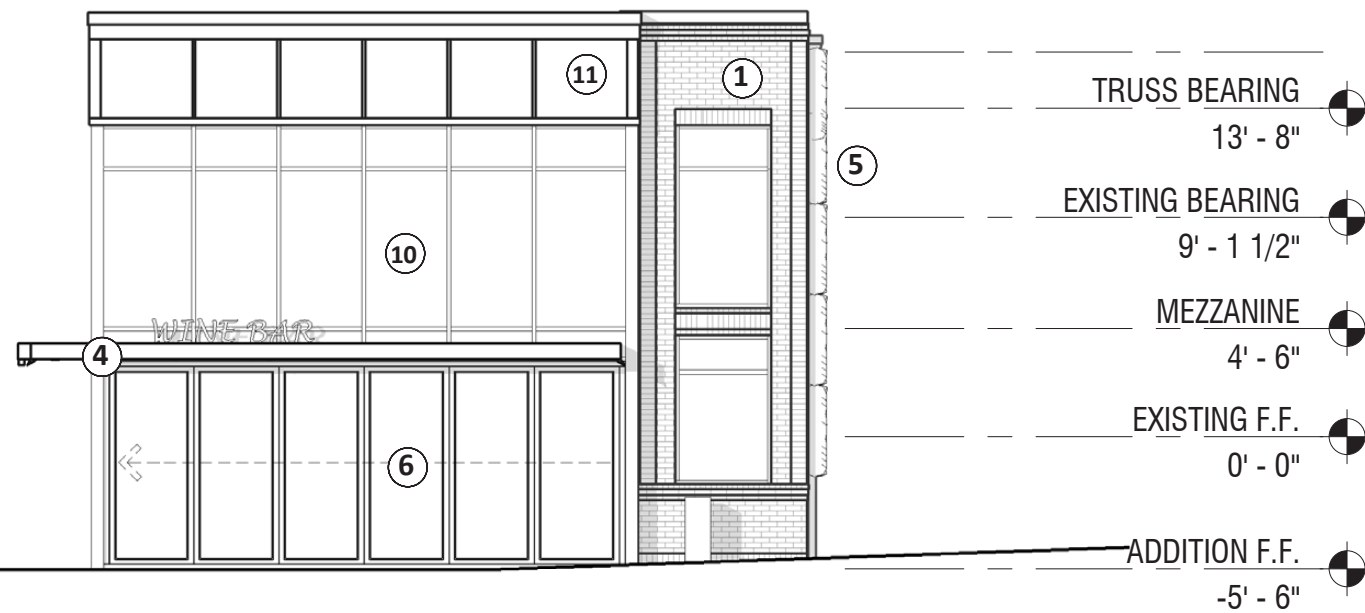


01 EAST ELEVATION

- TRUSS BEARING 13' - 8"
- EXISTING BEARING 9' - 1 1/2"
- MEZZANINE 4' - 6"
- EXISTING F.F. 0' - 0"

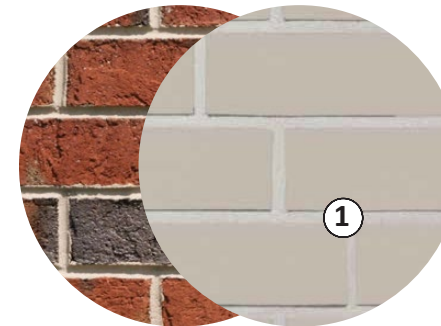
MATERIALS

- ① NEW Painted Brick
- ② EXISTING Painted Brick
- ③ EXISTING Window to be replaced
- ④ NEW Canopy
- ⑤ NEW Planter Wall Feature
- ⑥ NEW Folding Glass Wall System
- ⑦ NEW Outdoor Fireplace
- ⑧ NEW Outdoor Patio
- ⑨ NEW Retaining Wall with Planter
- ⑩ NEW Curtain Wall
- ⑪ NEW Fiber Cement Panels & Trim
- ⑫ NEW Wood Built in bench



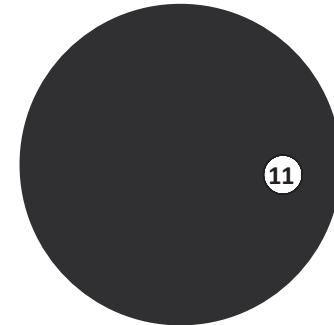
02 WEST ELEVATION

- TRUSS BEARING 13' - 8"
- EXISTING BEARING 9' - 1 1/2"
- MEZZANINE 4' - 6"
- EXISTING F.F. 0' - 0"
- ADDITION F.F. -5' - 6"



RED BRICK, PAINTED

Modular brick selected to match existing, painted - Sherwin Williams 'Proper Gray'
Basis of design - Triangle Brick 'Old Colony'



FIBER CEMENT PANELS & TRIM

Field painted - Sherwin Williams 'Black Magic'
Basis of design - Allura smooth panels & trim



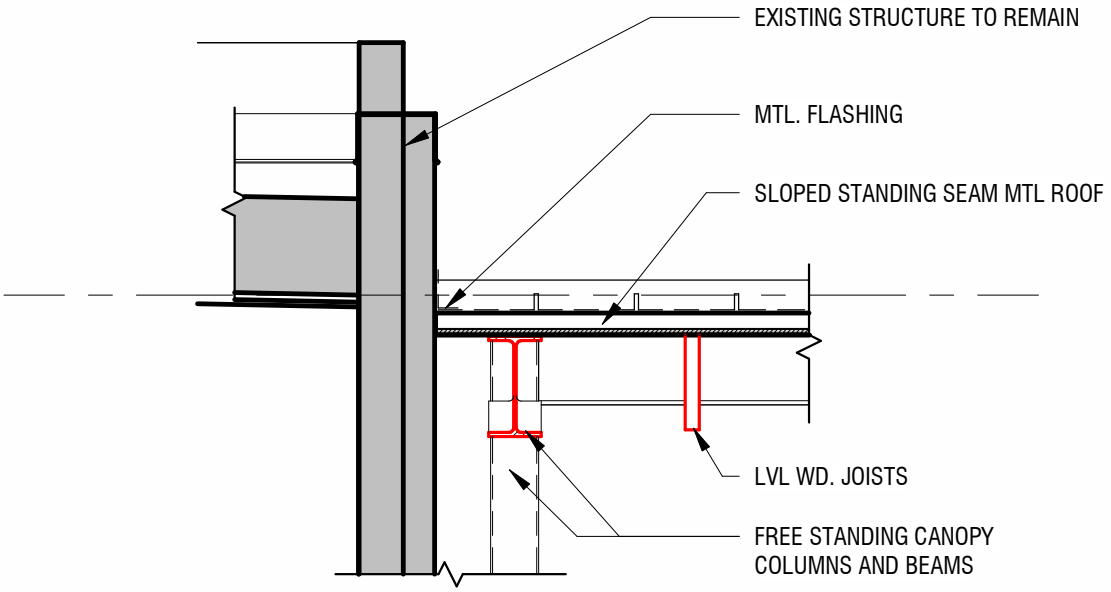
EXTERIOR LIGHTING

Gooseneck down light,
Basis of design - Kichler, Allenbury Outdoor Wall Light (49981BKT)

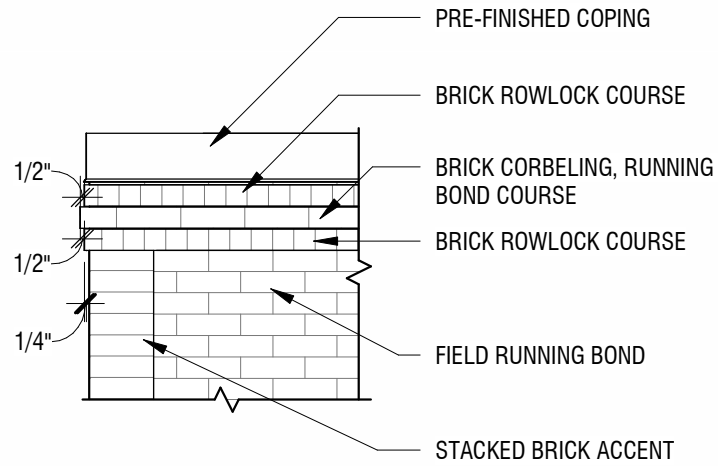


SCALE: 1/8" = 1'-0"

GLAZING PERCENTAGES & DETAILS



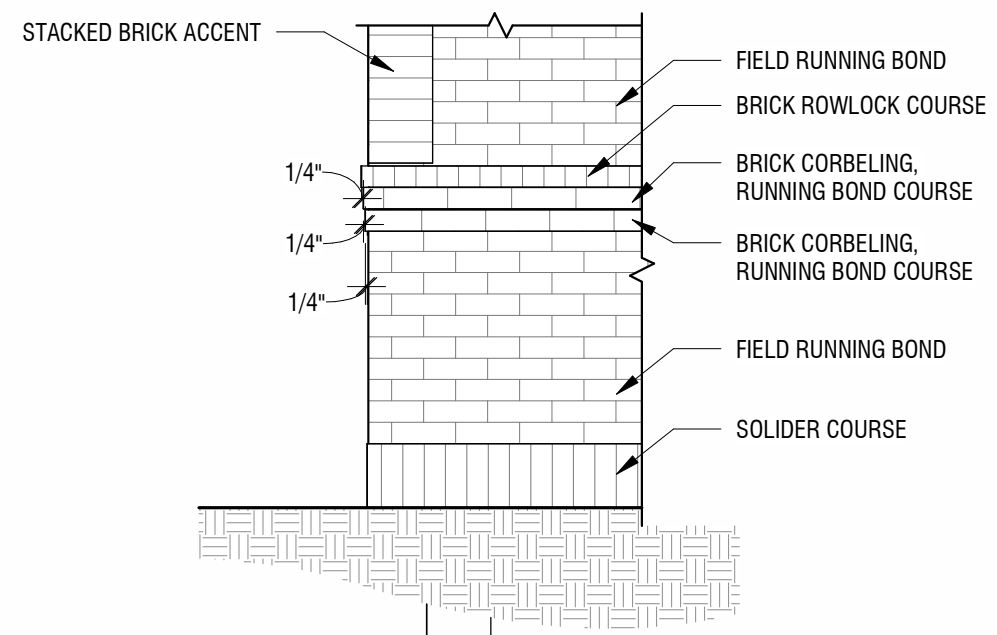
01 NEW CANOPY RELATION TO EXISTING WALL



02 BRICK DETAILING AT CORNICE



03 GLAZING PERCENTAGE AT PRIMARY STREET



04 BRICK DETAILING AT BASE

RENDERINGS - VIEW FROM CHAIRMAN BLAKE LANE



RENDERINGS - VIEW FROM SOUTH STREET



RENDERINGS - VIEW FROM CHAIRMAN BLAKE LANE



RENDERING - VIEW FROM CHAIRMAN BLAKE LANE



RENDERINGS - CORNER VIEW OF CHAIRMAN BLAKE & SOUTH STREET

